



7162 Liberty Centre Drive • Suite A  
Liberty Township Ohio 45069  
Phone (513) 759-7500 • Fax (513) 759-7501

Application for a  
**FINAL PUD**

<b>A. APPLICANT INFORMATION</b> NAME: <u>Gilligan Company</u> PHONE: (513) <u>321</u> - <u>9065</u> ADDRESS: <u>3805 Edwards Road Ste 680</u> CITY/ST/ZIP: <u>Cincinnati, OH 45209</u> EMAIL: <u>pgilligan@gilligan-co.com</u> APPLICANT IS THE: <input type="checkbox"/> PROPERTY OWNER <input type="checkbox"/> AGENT <input checked="" type="checkbox"/> OPTIONEE		<b>CASE NO.</b> <u>ZC2020-005</u> <b>FILE COPY RECEIVED</b> <b>MAR 13 2020</b> <b>LIBERTY TOWNSHIP ZONING OFFICE</b>
<b>B. PROPERTY INFORMATION</b> PROPERTY ADDRESS (IF ANY): <u>4969 Princeton Road</u> CITY/ST/ZIP: <u>Hamilton, OH 45011</u> SECTION: <u>1</u> TOWN: <u>2</u> RANGE: <u>3</u> PARCEL #: <u>M</u> - - - CURRENT USE OF PROPERTY (CHECK ALL THAT APPLY): <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> RESIDENTIAL <input type="checkbox"/> AGRICULTURAL <input checked="" type="checkbox"/> OTHER		
<b>C. PROPERTY ZONING</b> CURRENT ZONING OF PROPERTY: <u>B-PUD</u> REQUESTED ZONING OF PROPERTY: <u>Same</u> TOTAL ACRES OF PROPERTY TO BE REZONED: <u>NA</u>		<b>PAYMENT INFORMATION</b> <b>FEE AMOUNT: \$250</b> RECEIPT #: <u>9903</u> RECEIVED BY: <u>wgn</u>
<b>D. PROPERTY OWNER INFORMATION (LIST ALL PARCELS AND PROPERTY OWNERS THAT ARE INCLUDED WITH THIS APPLICATION)</b> 1. PARCEL #: <u>D 2010 - 001 - 000 - 101</u> NAME: <u>Professional Resource Development Inc.</u> PHONE: (217) <u>994</u> - <u>8428</u> ADDRESS: <u>1200 Network Centre Dr. Ste 3, Effingham IL 62401</u> 2. PARCEL #: <u>D</u> - - - NAME: _____ PHONE: ( ) _____ ADDRESS: _____ 3. PARCEL #: <u>D</u> - - - NAME: _____ PHONE: ( ) _____ ADDRESS: _____ 4. PARCEL #: <u>D</u> - - - NAME: _____ PHONE: ( ) _____ ADDRESS: _____		
<b>E. DESCRIPTION OF REQUEST</b> <u>Final Site Plan Approval for Lot #3 of Princeton Landings Resolution No. 2005-015.</u> _____ _____ _____ _____		

### ADJACENT PROPERTY OWNERS

ALL PROPERTY OWNERS WITHIN TWO HUNDRED (200) FEET OF THE SUBJECT PROPERTY SHALL BE LISTED. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE A COMPLETE AND ACCURATE LIST. THE PLANNING AND ZONING DEPARTMENT WILL APPROPRIATELY NOTIFY THE ADJOINING PROPERTY OWNERS OF THE SCHEDULED PUBLIC HEARING.

<u>PROPERTY OWNER</u>	<u>TAX MAILING ADDRESS</u>	<u>PARCEL #</u>
Realty Income Properties 31 LLC	P.O.Box 1159	D2050029000041
C/O Walgreens Co. Real Estate Tax Dept	Deerfield IL 60015	D2050029000040
		D2050029000038
		D2050029000042
		D2050029000039
United Dairy Farmers	3955 Montgomery Rd, Norwood, OH 45212	D2050029222247
First Financial Bank- Corporate Facilities	255 E 5th Street Ste 900, Cincinnati, OH 45202	D2010001000031
Liberty Township Board of Trustees	7162 Liberty Centre Dr Unit A	D2050029000049
Butler County Ohio	Liberty Township, OH 45069-2748	
Mookie Holdings LLC	7426 Bridge Point Pass, Cincinnati, OH 45248	D2010001000100
SCGV Princeton Landings LLC	23 B Shelter Cove LN Ste 202	D2010001000099
	Hilton Head Island, SC 29928	
Butler Co. Transportation -Improvement District	1921 Fairgrove Ave, Hamilton OH 45011	D2010001000075
James F & Pamela Brown	4948 Hamilton Princeton Road, Liberty Township, OH 45011	D2050029000035

# TRANSMITTAL

<b>TO:</b> Department of Planning & Development	<b>DATE:</b> March 13, 2020
7162 Liberty Centre Drive Ste A	<b>PROJ. NAME:</b> DD Liberty Township
Liberty Township, Ohio 45069	<b>PROJ. NO.:</b> 134-20
<b>ATTN:</b> Mark Elma	<b>FILE NO.</b>

**Item Sent:**

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> Attached Hereto | <input type="checkbox"/> DHL Express           |
| <input type="checkbox"/> Under Separate Cover       | <input type="checkbox"/> Federal Express       |
| <input type="checkbox"/> First Class Mail           | <input type="checkbox"/> United Parcel Service |
| <input type="checkbox"/> _____                      | <input type="checkbox"/> Messenger Service     |

**We are forwarding the following items related to this project:**

- |  |   |  |  |
|--|---|--|--|
| <input type="checkbox"/> Computer Disk     | <input type="checkbox"/> Computer Plots | <input type="checkbox"/> As Requested                      | <input type="checkbox"/> No Exceptions Taken |
| <input type="checkbox"/> Shop Drawings     | <input type="checkbox"/> Originals      | <input type="checkbox"/> For Your Files                    | <input type="checkbox"/> Exceptions Noted    |
| <input checked="" type="checkbox"/> Prints | <input type="checkbox"/> Sample         | <input checked="" type="checkbox"/> For Review and Comment | <input type="checkbox"/>                     |

No. of Copies	Drawing No.	Dated	Description
20		3-12-20	Architectural Plans (11 x 17)
1			Application-Final Development Plan and fee \$250.00
1			Lighting Fixture Cut Sheets
1			Signage Detail Sheets

**Comments:**

Hi Mark,

Thank you for working with us on this project. We do want to request that the hours of operation for our store are allowed to begin at 5am. I did not see a place to detail this request in the application. You should receive the digital file package via email by the end of business today. I will follow up with the hard copy submittal Monday morning.

Were anxious for your review and comments. Please don't hesitate to call me with any questions.

Regards,

Kara Burkhardt Meineke

(937)838-6930


<b>Copies To:</b>	<b>Transmitted By:</b> KBM
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**PROPERTY OWNER'S AFFIDAVIT**

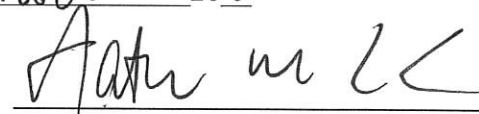
STATE OF OHIO  
COUNTY OF BUTLER

I (we) Professional Resource Development, Inc.  
hereby certify that we are all of the owners of the real estate which is the subject of the pending zoning application; that we hereby consent to the Zoning Commission of Liberty Township approving a development plan for the subject real estate. We understand that our application will be considered and processed in accordance with the regulations as set forth by the Liberty Township Planning and Zoning Department and Zoning Resolution; that we agree to accept, fulfill and abide by those regulations and all stipulations and conditions attached to the Final Development Plan. I (we) authorize Liberty Township to place a Public Meeting notification sign on the property. I (we) authorize Liberty Township staff and board members to enter and inspect the property. The statements and attached exhibits are in all respects true and correct to the best of my/our knowledge and belief.

  
\_\_\_\_\_  
Signature  
Jonathan Bruanleve  
\_\_\_\_\_  
Printed Name  
1200 Network Centre Drive Suite 3  
\_\_\_\_\_  
Mailing Address  
Effingham IL 62401  
\_\_\_\_\_  
City, State, Zip Code  
217 994-8428  
\_\_\_\_\_  
Phone

Subscribed and sworn to before me this 9 day of March 2020



  
\_\_\_\_\_  
Notary Public

Person to be contacted for details, other than signatory:

Ann Fearday 1200 Network Centre Dr. Suite 3 Effingham IL 62401 (217) 994-8428  
Printed Name Address/City/St/Zip Phone





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Application for a  
**FINAL PUD**

## 1. GENERAL REQUIREMENTS CHECKLIST

- ☒ 1.1 - PRE-APPLICATION MEETING ( DATE: 3 / 5 / 20 TIME: 10:30 AM / PM )

The applicant is to present the concept of the Final Development Plan to the Planning and Zoning Department, and to obtain and discuss the overall application process prior to submitting the application packet. *Call 759-7500 for appointment. Pre-application meetings MUST be conducted a minimum of 3 business days prior to the Submittal Deadline Date; However, it is recommended that the Pre-Application Meeting take place at least one week prior to submittal to allow sufficient time for any necessary adjustments.* There will be no assurance at any time, implicitly or otherwise, regarding final Staff comments or concerns presented to the Zoning Commission about this application.

- ☒ 1.2 - SUBMITTAL DEADLINE DATE ( DATE: 3 / 13 / 20 )

The application packet must be submitted to the Liberty Township Planning and Zoning Department no later than the end of business day (4:30pm) on the advertised Submittal Deadline Date. A list of the advertised closing dates is available on the township website or in the Planning and Zoning Department. Prior to submission of the application packet and necessary information, it is recommended that the Applicant revise the proposed plans when necessary, as it is advised by Staff during the Pre-Application Meeting. After the closing date, the applicant cannot modify any portion of the information submitted, unless specifically requested by the Staff or Zoning Commission. *If it is determined by Staff, at any time, that an application packet is incomplete, or inaccurate, it will not be accepted for processing, or be scheduled for a public hearing.*

- ☒ 1.3 - APPLICATION FEE (\$250.00)

The application packet for a Final Development Plan shall be accompanied by a non-refundable payment to cover the costs of holding the public hearing thereon, including personnel costs, advertising and legal notices as required by law or otherwise in connection with said case. *Please make checks payable to Liberty Township.*



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Application for a  
**FINAL PUD**

## 2. WRITTEN REQUIREMENTS CHECKLIST

☐ **2.1 – METES AND BOUNDS LEGAL DESCRIPTION**

Submit on a single 8 ½" X 11" paper the following information:

- A. A metes and bounds description of the subject site; and
- B. The amount of area contained within the site; and
- C. A statement, signed by a registered surveyor, certifying that the description of the property proposed for a Final Development Plan, is a complete, proper and legal description thereof.

☒ **2.2 – PROPERTY DEED**

Submit one (1) copy of the deed to the subject property as filed in the Butler County Recorder's Office.

☒ **2.3 – PREVIOUS ACTION INFORMATION**

Submit one (1) copy of all resolutions, minutes and plans (11" x 17") for all previous approvals for the overall PUD District, which are related to the subject property. *This information should be obtained from the developer of the overall PUD District.*

☒ **2.4 – FINAL DEVELOPMENT PLAN APPLICATION FORM**

Complete and submit the Final Development Plan Application Form, which is included on Page 2 of this packet. *The application must be typewritten and all original forms must be submitted with the required original signatures.* This form should be attached to the front of the submittal.

☒ **2.5 – ADJACENT PROPERTY OWNERS FORM**

Complete and submit the Adjacent Property Owners Form, which is included on Page 3 of this packet. *The completed form must contain the name, tax mailing address and parcel information for all properties located within two hundred (200) feet of the subject site.* It is the Applicant's responsibility to provide a complete and accurate list. The Planning and Zoning Department will appropriately notify the adjoining property owners of the scheduled public hearing.

☒ **2.6 – PROPERTY OWNER'S AFFIDAVIT**

Complete and submit the Property Owner's Affidavit, which is included on Page 4 of this packet. If multiple property owners are involved, a separate Property Owner's Affidavit shall be submitted for each property owner. *All completed forms with the original signatures must be provided with the application.*

☒ **2.7 – CHECKLIST OF REQUIREMENTS**

Complete and submit all checklists fully completed.

### 3. GRAPHIC REQUIREMENTS CHECKLIST

#### ☒ 3.1 – FINAL DEVELOPMENT PLAN

Submit four (4) ***folded*** copies of the Final Development Plan(s) on 24" x 36" size paper and at a scale of one inch equals fifty feet (1"=50'), or larger, unless otherwise approved by Staff. The detailed Final Development Plan shall be in accordance with the approved Preliminary Development Plan; shall be prepared for the owner/developer(s) by a professionally competent urban planner, professional engineer, architect or landscape architect; and shall include the following information:

- ☒ A. Survey of the tract to be developed showing existing physical features (general topography, drainage ways and tree cover), streets, easements and utility lines.
- ☒ B. Detailed Site Plan showing lot lines, building outlines, off-street parking spaces with ratio calculation, pedestrian walkways, and vehicular circulation.
- ☒ C. Detailed building plans, exterior elevations (specific materials shall be labeled and color elevations should be provided), and anticipated floor plans. *At the scheduled public hearing, it is highly recommended that the applicant bring an exterior building materials board, or product samples, to illustrate the building materials that are proposed.*
- ☒ D. Detailed Landscaping Plans, including quantity, size and varieties of landscaping, in addition to an overall open space calculation.
- ☒ E. Specific engineering plans, including site grading, street improvements, drainage and utility improvements, and extensions as necessary.
- ~~NA~~ ☒ F. All necessary legal documentation relating to the incorporation of a Property Owner's Association for the purpose of maintaining the specified common space within the Planned Unit Development.
- ~~NA~~ ☒ G. Draft copies of any restrictive covenants that are to be recorded.

#### ☒ 3.2 – REDUCED FINAL DEVELOPMENT PLAN

- ☒ Submit sixteen (16) copies of the Final Development Plan reduced to an 11" x 17" sheet of paper.
- ☒ Submit digital copies of all plans



TRANSFERRED

DATE 12-29-15

CONVEYANCE 127169

FEE \$ 19005 (624921) JK

EXEMPT

Roger Reynolds, State Co. Auditor

This conveyance has been examined and the grantor has complied with Sec 319.202 of the ORC.

PREPARED BY:

TODD BURBANK

KILPATRICK TOWNSEND & STOCKTON LLP

214 NORTH TRYON ST., STE. 2400

CHARLOTTE, NC 28202

Image ID: 000009360334 Type: OFF  
Recorded: 12/29/2016 at 02:47:22 PM  
Fee Amt: \$44.00 Page 1 of 4  
Workflow# 0000269807-0001  
Butler County, Ohio  
Dan Crank COUNTY RECORDER  
File# 2015-00051520  
BK 8860 PG 1009

### LIMITED WARRANTY DEED

FIFTH THIRD BANK, an Ohio banking corporation, for valuable consideration paid, grants, with limited warranty covenants, to PROFESSIONAL RESOURCE DEVELOPMENT, INC., an Illinois corporation, whose tax mailing address is 1200 Network Centre Drive, Suite 2, Effingham, Illinois 62401, the real estate described on the attached Exhibit A (the "Property").

The following are excepted from the limited warranty covenants: (A) real property taxes and assessments for calendar year 2015 and subsequent years, (B) all easements, covenants, conditions, restrictions and other agreements of record, (C) all matters which would be disclosed by a recent and accurate survey of the Property, (D) public streets and legal highways and (E) municipal, zoning and subdivision laws and ordinances.

Parcel Number: D2010-001-000-101

Prior Instrument Reference: Official Records Book 7742, Page 1105 of the Records of Butler County, Ohio 15-51981

[REMAINDER OF PAGE BLANK. SIGNATURE PAGE FOLLOWS.]

Executed on December 22nd, 2015

FIFTH THIRD BANK, an Ohio banking corporation

By: (Bradley M. Newman)

Name: BRADLEY M. NEWMAN

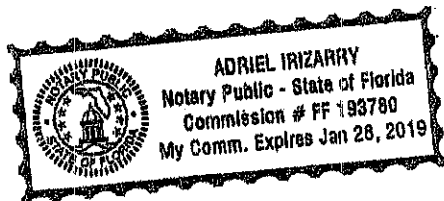
Its: VICE PRESIDENT

STATE OF FLORIDA

SS:

COUNTY OF Hillsborough

Acknowledged before me, a notary public, this 22<sup>ND</sup> day of December, 2015, by BRADLEY NEWMAN, the VP of FIFTH THIRD BANK, an Ohio banking corporation, on behalf of said corporation.



(Signature)  
Notary Public  
My commission expires: 1-28-19



Image ID: 000009360335 Type: OFF  
Page 2 of 4

File# 2016-00051520

BK 8860 pg 1010



Image ID: 000009380336 Type: OFF  
Page 3 of 4

File# 2015-00051520

BK 8860 pg 1011

FIFTH THIRD BANK, an Ohio banking corporation

By: William F Kelley

Name: William F KELLEY

Its: VP

STATE OF FLORIDA

COUNTY OF Hillsborough

SS:

Acknowledged before me, a notary public, this 22<sup>nd</sup> day of December 2015, by  
William Kelley, the VP of FIFTH THIRD BANK, an Ohio  
banking corporation, on behalf of said corporation.

Adriel Irizarry  
Notary Public  
My commission expires: 1-28-19

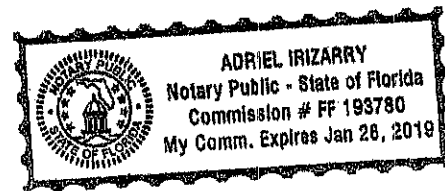






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Page 4 of 4

File# 2015-00051520

BK 8860 Pg 1012

EXHIBIT A

Situated in Section 1, Town 2, Range 3, Liberty Township, Butler County, Ohio and being part of a 9.928 acre tract conveyed to Princeton Landings, LLC in O.R. 7695, Page 1497, the boundary of which being more particularly described as follows:

Commencing at the northeast corner of The Meadows of Logsdons Ridge Section One, Block A as recorded in P.E. 2189 Pages A-B, said point being in the centerline of Princeton Road;

Thence with the easterly line of said Meadows of Logsdons Ridge Section One, Block A, S04°20'58"W a distance of 54.72 feet to a point in the proposed southerly right-of-way line of Princeton Road;

Thence along said proposed southerly right-of-way line, S84°40'20"E 578.14 feet to a set 5/8" iron pin at the Point of Beginning;

Thence continuing, S84°40'20"E 188.95 feet to a set 5/8" iron pin;

Thence along a curve deflecting to the right an arc distance of 78.99 feet to a set 5/8" iron pin in the proposed westerly right-of-way line of State Route 747, said curve having a radius of 50.00 feet, a chord bearing S39°24'52"E 71.03 feet and a central angle of 90°30'56";

Thence with said proposed westerly right-of-way line, S05°50'36"W 134.21 feet to a set 5/8" iron pin;

Thence along lines through the aforesaid 9.928 acre tract, N84°31'43"W 238.20 feet to a set 5/8" iron pin;

Thence continuing, N05°28'17"E a distance of 184.06 feet to the point of beginning.

Containing 0.998 acres, more or less.

Bearings are assumed and intended to denote angles only.

APPROVED  
BY CEO  
BY AMM  
12-29-15

FIDELITY NATIONAL TITLE  
4111 EXECUTIVE PARKWAY  
WESTERVILLE, OH 43081

## RESOLUTION NO. 2005-015

RESOLVED by the Board of Township Trustees of Liberty Township, Butler County, Ohio that

WHEREAS, on January 18, 2005 the Liberty Township Trustees approved a Zone Change for ZC04-011/ZC01-006 from R-1 (Suburban Residence District) to B-PUD (Business Planned Unit Development).

WHEREAS, a public hearing to approve the Zone Change according to the Liberty Township Zoning Resolution was held on January 4, 2005 on the application Hutsenpiller Contractors (ZC04-011/Zc01-006) on the following described property;

Subject property is known as Parcel(s) D2010-001.000-017, D2010-001.000-074, D2010-001.000-019, Section 1, Town 2, Range 3, Liberty Township, Butler County, Ohio.

WHEREAS, all those present for the hearing who wished to be heard voiced their opinions with respect thereto; and

WHEREAS, the Liberty Township Zoning Commission recommended approval of the Preliminary PUD for lots 1, 3, and 4 and the Final PUD for lot 2 for ZC04-011/ZC01-006 subject to staff comments with the exception of #6 to be replaced by B-2 uses will be permitted on lots 3 and B-2 uses will be permitted on lots 1 and 4 with the exception of a restaurant drive-thru and if not a restaurant drive-thru, then drive-thru shall be placed away from any adjoining residential district:

1. Right-in /out drive on SR 747 should be moved south so that the centerline of the drive is located 50' north of the southern most property line. The applicants' engineer, and Liberty Township Staff, has requested that ODOT reconsider their request to move the driveway to address grade and storm water detention issues for the applicant to provide a greater separation from the residential properties to the south and the proposed development for Liberty Township. Staff will verify driveway location with ODOT prior to issuing a zoning certificate.
2. An internal sidewalk plan should be prepared / provided on the Development Plan for safe and efficient pedestrian circulation throughout the development.
3. No structure shall exceed 35 feet in height.
4. Signage throughout the development should be uniform (i.e. all ground mounted signs with brick base, sized as required in Zoning Resolution. Wall signs to be uniform in style and all signs shall be internally illuminated).
5. Like building materials and colors should be used throughout the development.
6. ~~Out lots 1, 3, and 4 (Preliminary Development Plan approval) permitted uses should be limited to the following:~~
  1. ~~Care centers for children~~
  2. ~~Corporate headquarters, regional and administrative offices~~
  3. ~~Professional, medical, and dental offices~~
  4. ~~Regional and metropolitan offices~~
  5. ~~Sales and marketing offices~~
  6. ~~Financial institutions and services~~
  7. ~~Libraries and museums~~



- ~~8. Other similar uses approved by the Trustees~~  
~~9. Eating and drinking places (sit down only, no drive thru or drive in)~~
6. B-2 uses will be permitted on lot 3; B-2 uses will be permitted on lots 1 and 4 with the exception of a restaurant drive-thru and any drive-thru not related to a restaurant shall be placed away from any adjoining residential district.
  7. Per Liberty Township Board of Trustees Resolution No. 2001-114 for approval of the original B-PUD located on the southwest corner of SR 747 and Princeton Road (applicant is proposing minor modification), hours of operation were established as part of the zone change approval. These same hours of operation shall be placed on this zone change request as follows:
    - Sunday through Thursday – 6 AM to 11 PM
    - Friday and Saturday – 6 AM to Midnight
  8. The proposed lighting plan as submitted by the applicant states that the hours of lighting will be from Dawn to 2 AM. The lighting plan shall revise the hours of lighting to match the hours of operation as stated above.
  9. Developer to show sidewalks on Final Development Plan along the entire frontage of Princeton Road and State Route 747 and construct sidewalks in the future in the location shown on the development plan when grading from the road improvement project allows for sidewalks as determined by staff.

WHEREAS, said application was reviewed by the Board of Township Trustees and determined to be consistent with the Liberty Township Land Use Plan.

THEREFORE BE IT RESOLVED, that the Board of Trustees does hereby approve the Preliminary PUD for lots 1, 3, and 4 and the Final PUD for lot 2 for ZC04-011/ZC01-006 with the following conditions:

1. Right-in /out drive on SR 747 should be moved south so that the centerline of the drive is located 50' north of the southern most property line. The applicants' engineer, and Liberty Township Staff, has requested that ODOT reconsider their request to move the driveway to address grade and storm water detention issues for the applicant to provide a greater separation from the residential properties to the south and the proposed development for Liberty Township. Staff will verify driveway location with ODOT prior to issuing a zoning certificate.
2. An internal sidewalk plan should be prepared / provided on the Development Plan for safe and efficient pedestrian circulation throughout the development.
3. No structure shall exceed 35 feet in height.
4. Signage throughout the development should be uniform (i.e. all ground mounted signs with brick base, sized as required in Zoning Resolution. Wall signs to be uniform in style and all signs shall be internally illuminated).
5. Like building materials and colors should be used throughout the development.
6. Any principal permitted use in B-2 is permitted on Lot 1 excluding drive-in or drive-thru restaurants and any drive-in or drive-thru shall be located on the interior of the property. Any principal permitted use in B-2 is permitted on Lots 3 and 4 with the exception that any drive-in or drive-thru on Lot 4 be located on the north side.
7. Per Liberty Township Board of Trustees Resolution No. 2001-114 for approval of the original B-PUD located on the southwest corner of SR 747 and Princeton Road (applicant is proposing minor modification), hours of

operation were established as part of the zone change approval. These same hours of operation shall be placed on this zone change request as follows:

- Sunday through Thursday – 6 AM to 11 PM
  - Friday and Saturday – 6 AM to Midnight
8. The proposed lighting plan as submitted by the applicant states that the hours of lighting will be from Dawn to 2 AM. The lighting plan shall revise the hours of lighting to allow for the lighting to remain on for 30 minutes after the hours of operation as stated in item #8 above.
  9. Developer to show sidewalks on Final Development Plan along the entire frontage of Princeton Road and State Route 747 and construct sidewalks in the future in the location shown on the development plan when grading from the road improvement project allows for sidewalks as determined by staff.

Trustee Kern moved to affirm the decision of the Zoning Commission with modifications to approve the Preliminary PUD for lots 1, 3, and 3 and the Final PUD for lot 2 subject to the conditions as stated above, which was seconded by Trustee Matacic. The Trustees unanimously agreed to the adoption of the foregoing resolution. Upon call of the roll, the vote resulted as follows:

Trustee Kern, yea  
Trustee Matacic, yea

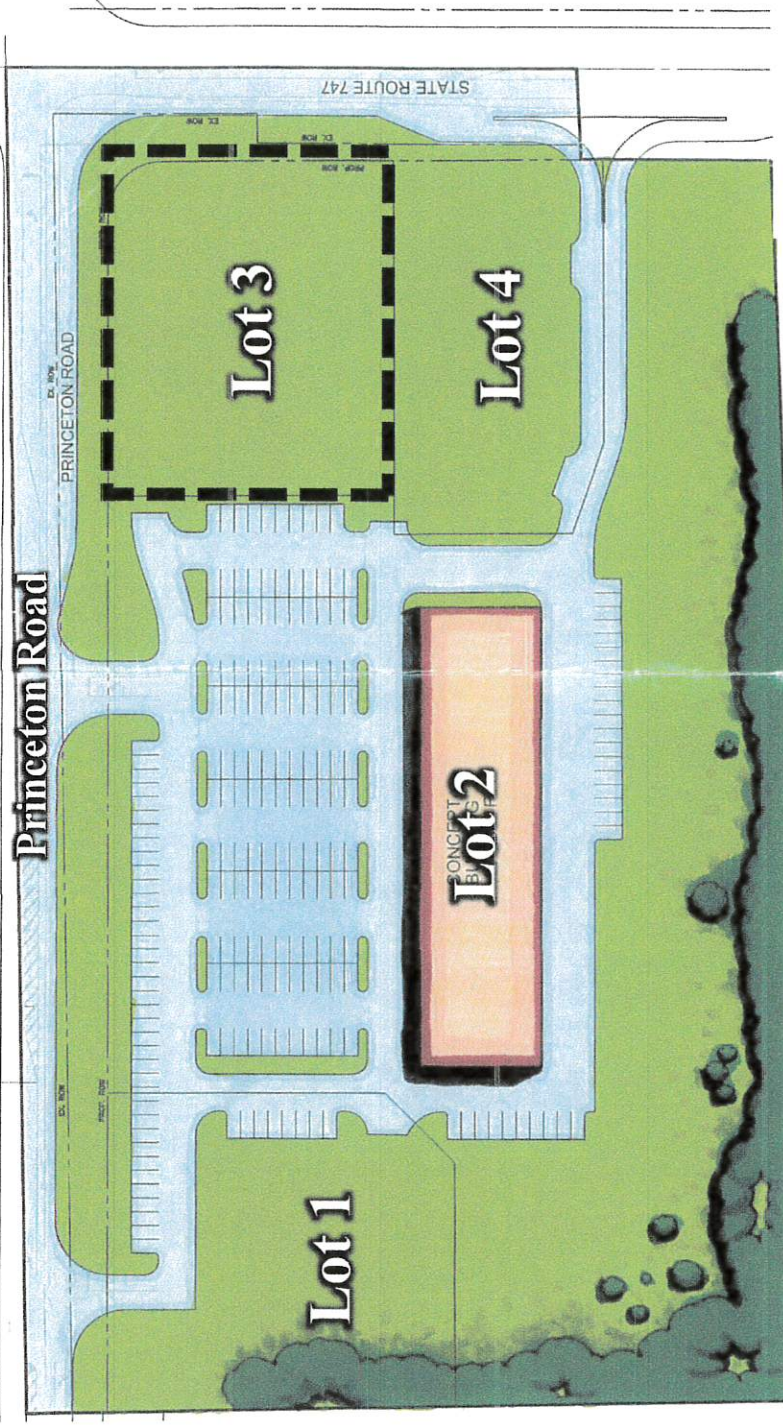
Adopted: January 18, 2005

Attest: \_\_\_\_\_  
Roger Reynolds, Clerk Treasurer



# ZC19-010 – 2005 APPROVED B-PUD PLAN

2



PRINCETON LANDINGS  
PRINCETON ROAD AND STATE ROUTE 747  
LIBERTY TOWNSHIP  
BUTLER COUNTY, OHIO

PREPARED BY:

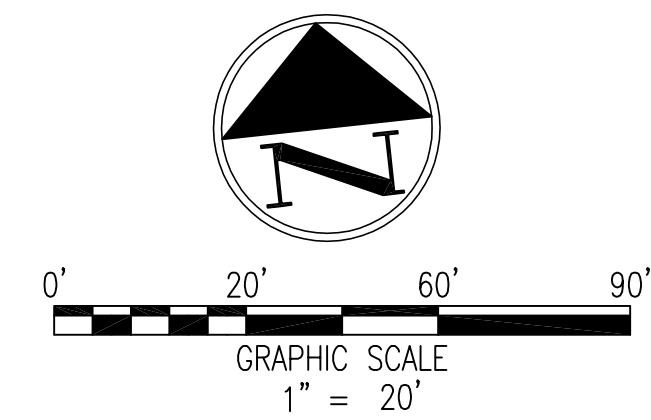


6335 Cedar Park Drive, West Chester, OH 45069  
(610) 779-7831 Fax (610) 779-7832

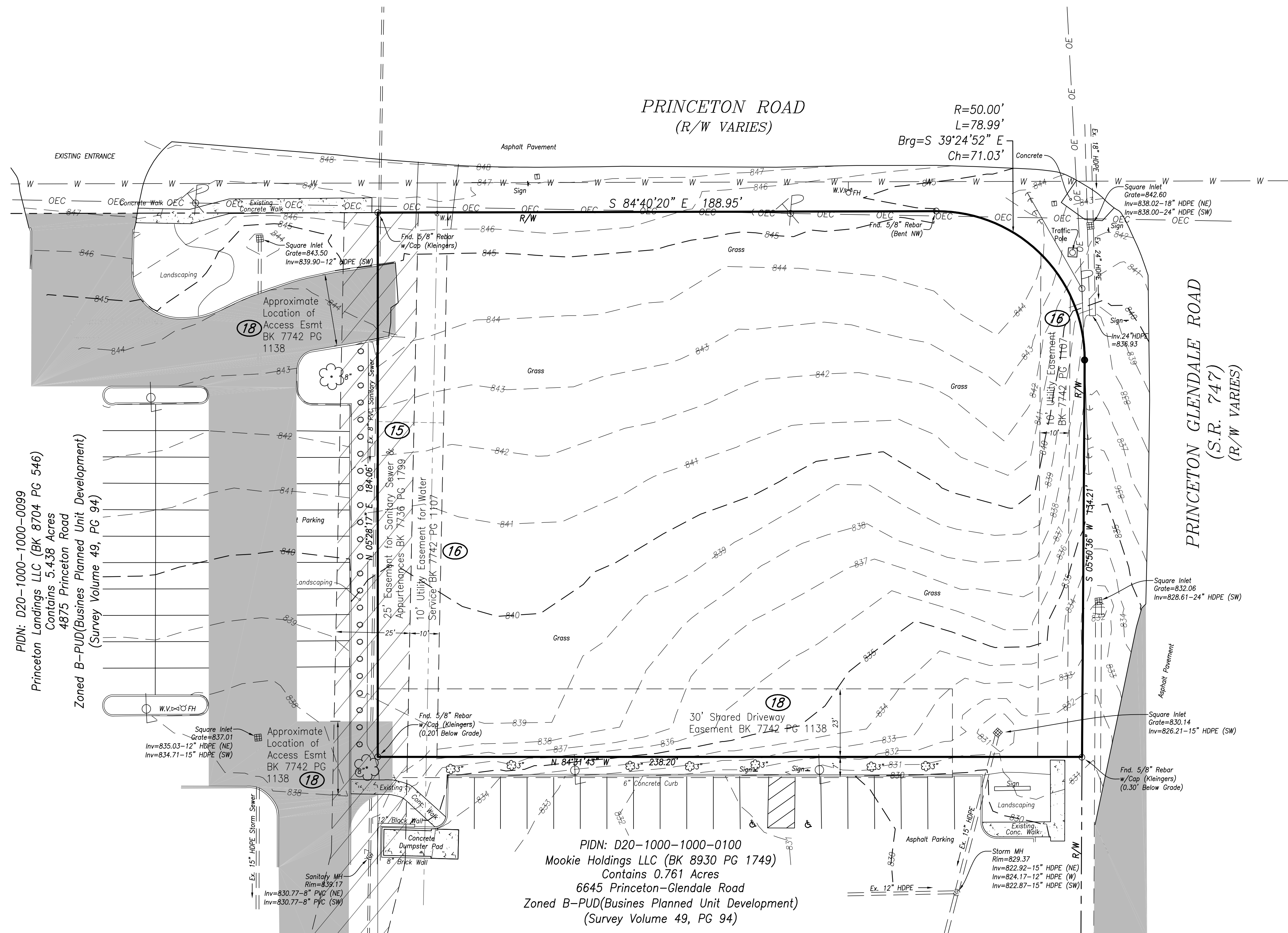




FILE LOCATION- Z:\-2017\17-0231-Dunkin Donuts-Fairborn\MODEL FILES\TBD-17-0231V-SP-go3motbi.dwg



Current Owner:  
Princeton Landings LLC  
O.R. 7695 pg 1497  
Parcel ID D2010001000101  
Contains 0.998 Acres



EXISTING FEATURES LEGEND:

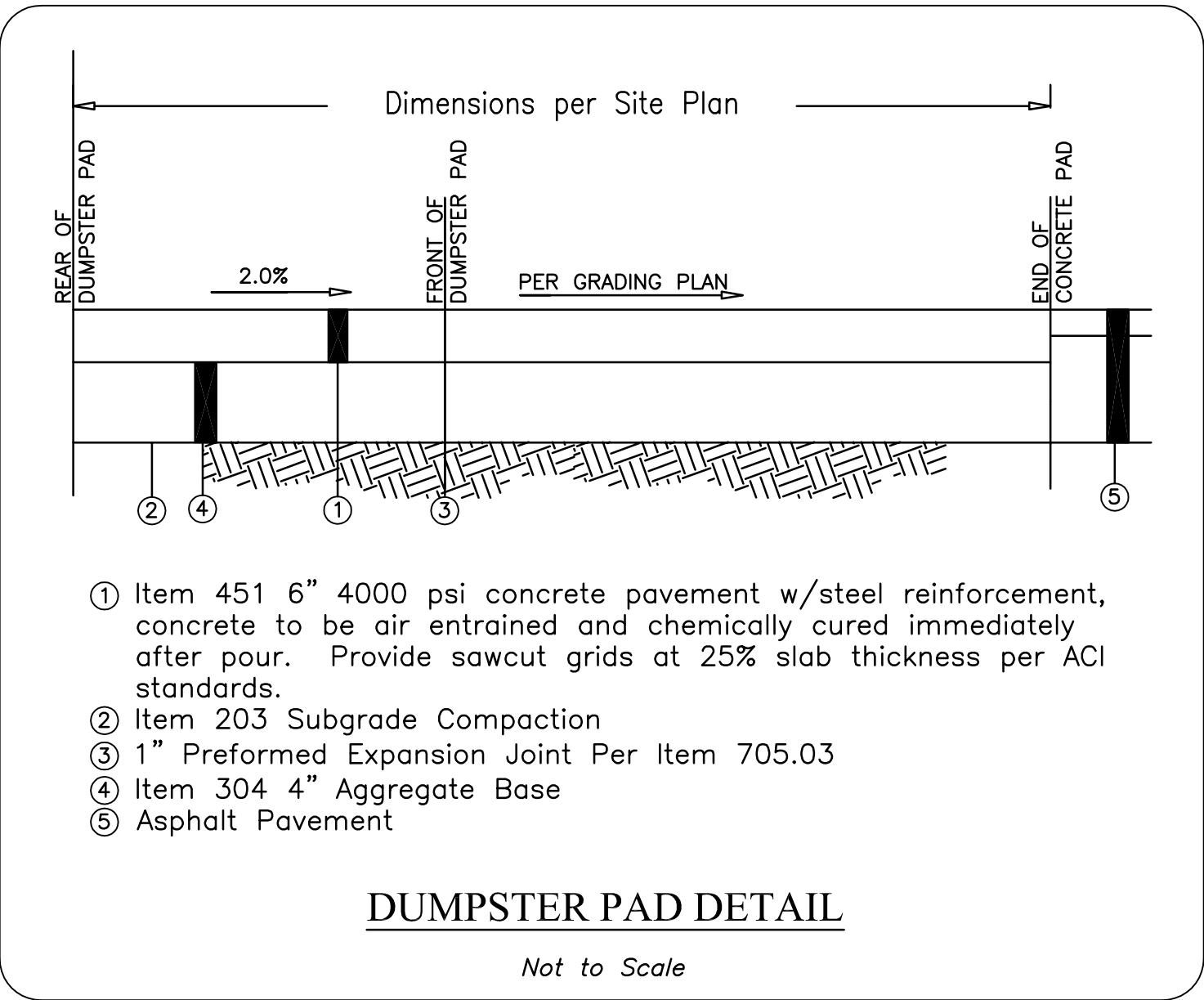
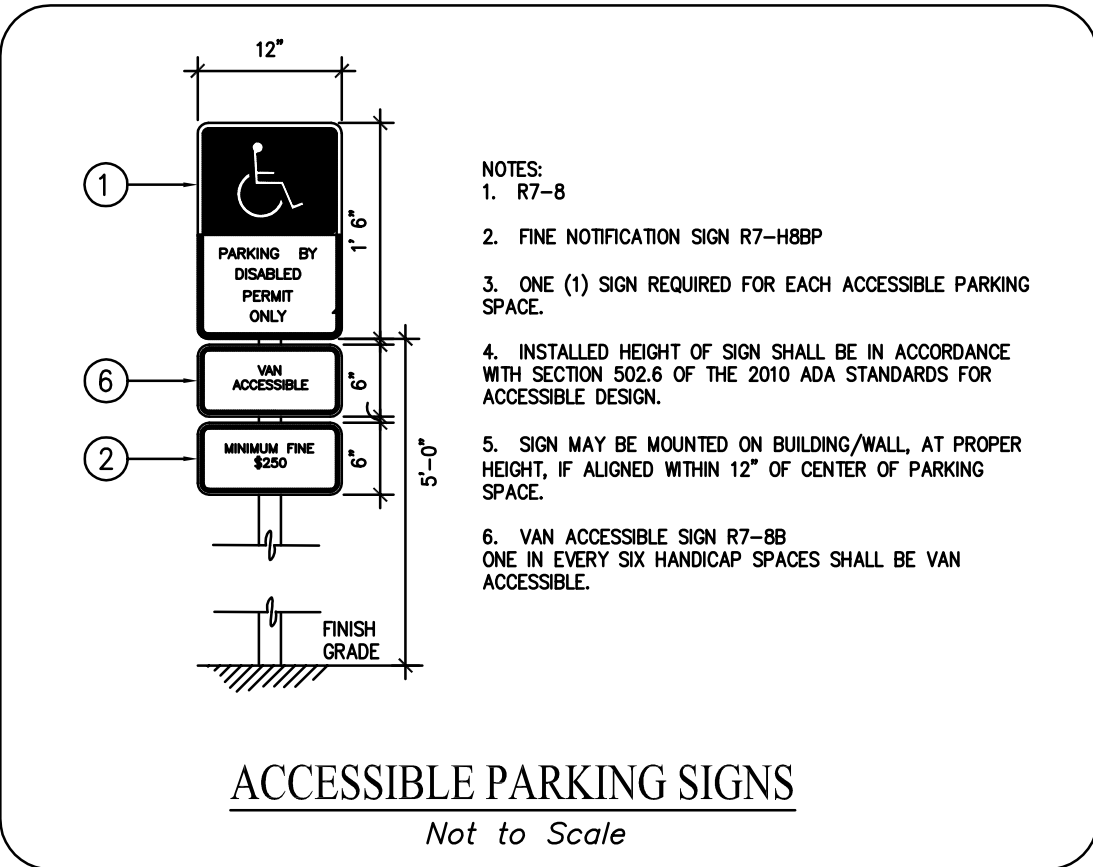
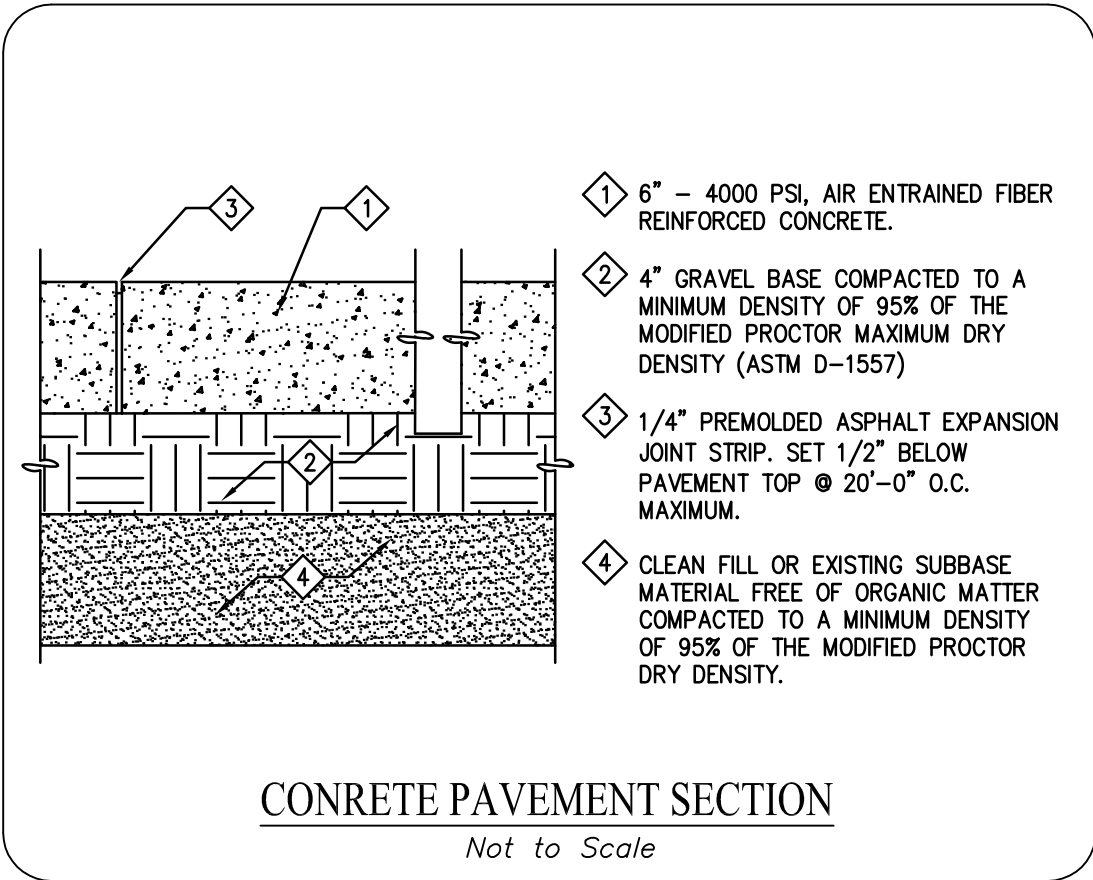
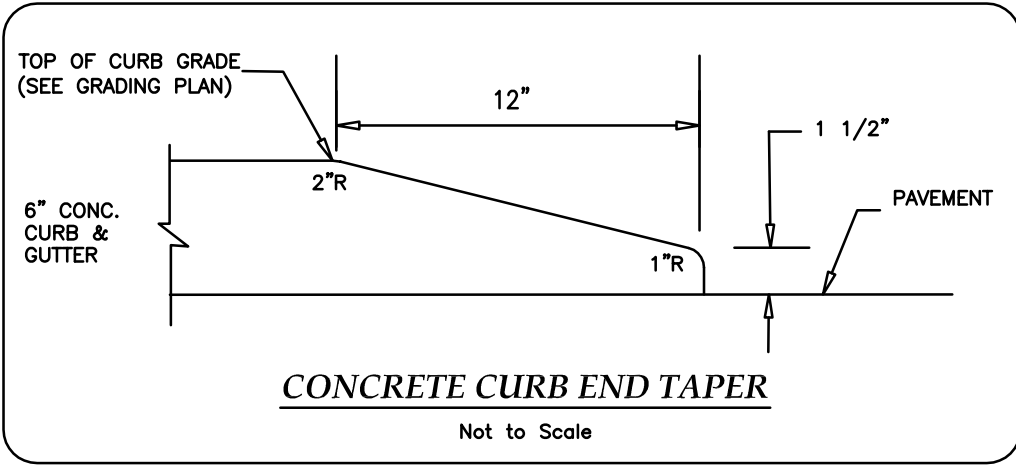
All monuments flush with grade,  
unless otherwise noted

- |   |  |       |                         |
|---|--|-------|-------------------------|
| ⊙ | Set 5/8" Iron Pin w/Cap<br>Eric M Lang, License No. 8406<br>unless otherwise noted |       | Storm Manhole           |
| × | Set Cross Notch  |       | SGI                     |
| ○ | Existing Iron Pin w/Cap,<br>unless otherwise noted                                 |       | SCGI                    |
| ⊙ | Existing Iron Pipe   |       | DGI                     |
| △ | Railroad Spike   |       | DCGI                    |
| ⊥ | Light Pole   |       | Round Inlet             |
| ⊥ | Light Pole w/ Base   |       | Square Inlet            |
| ⊥ | Strain Pole  |       | Unknown Manhole         |
| ⊥ | Power Pole   |       | Shrub                   |
| ⊥ | Telephone Pole   |       | Canifer Tree            |
| ⊥ | Combination Pole   |       | Deciduous Tree          |
| ⊥ | Anchor Pole  |       | Tree Stump              |
| ⊥ | Guy Wire Anchor  |       | Street Sign             |
| ⊥ | Fire Hydrant   |       | Mailbox                 |
| ⊥ | Water Valve  |       | Tie-Hook                |
| ⊥ | Water Service Valve (Yard)   |       | Headstone               |
| ⊥ | Water Meter  |       | RR Switch Box           |
| ⊥ | Water Valve Chamber or Manhole   |       | RR Cross Signal         |
| ⊥ | Water Sprinkler  | —X—   | Fence/line              |
| ⊥ | Gas Meter  | —OEC— | Overhead Elec. & Comm.  |
| ⊥ | Gas Service Valve  | —OE—  | Overhead Electric       |
| ⊥ | Gas Valve Box  | —OT—  | Overhead Telephone      |
| ⊥ | Gas Valve  | —W—   | Water Line              |
| ⊥ | Electric Box   | —SS—  | Sanitary Sewer          |
| ⊥ | Electric Manhole   | —G—   | Natural Gas             |
| ⊥ | Electric Meter   | —UE—  | Underground Electric    |
| ⊥ | Electric Tower   | ---   | Right-of-way Line (R/W) |
| ⊥ | Pullbox  | ---   | Centerline (?)          |
| ⊥ | Telephone Manhole  | ---   | Section Line            |
| ⊥ | Sanitary Manhole   |       | Building                |
| ⊥ | Septic Manhole   | ②     | Schedule B Items        |
| ⊥ | Clean Out  | ④     | Survey Notes            |



If this sheet is not 24" by 36" it is a reduced print, scale accordingly

CONSTRUCTION PLANS FOR  
DUNKIN'  
4969 PRINCETON ROAD  
SECTION 1, TOWN 2, RANGE 3  
LIBERTY TOWNSHIP  
BUTLER COUNTY, OHIO  
CONTAINING 0.9980 ACRES



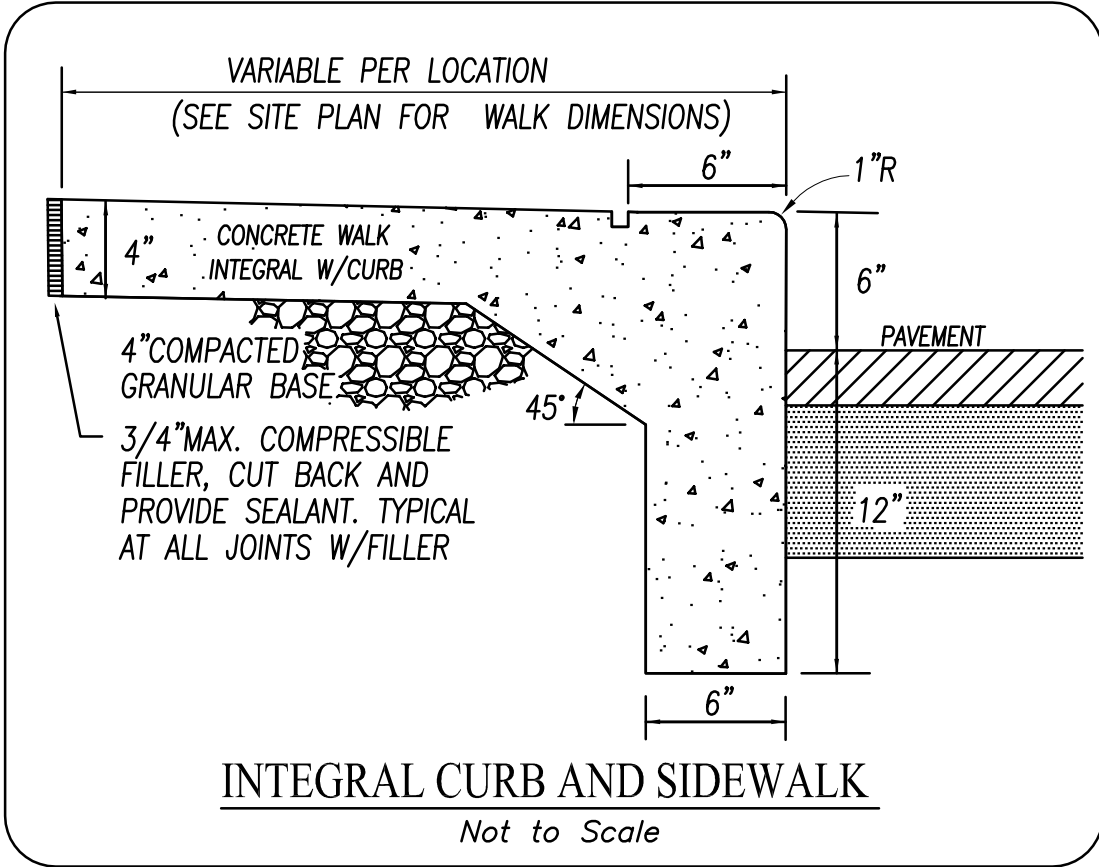
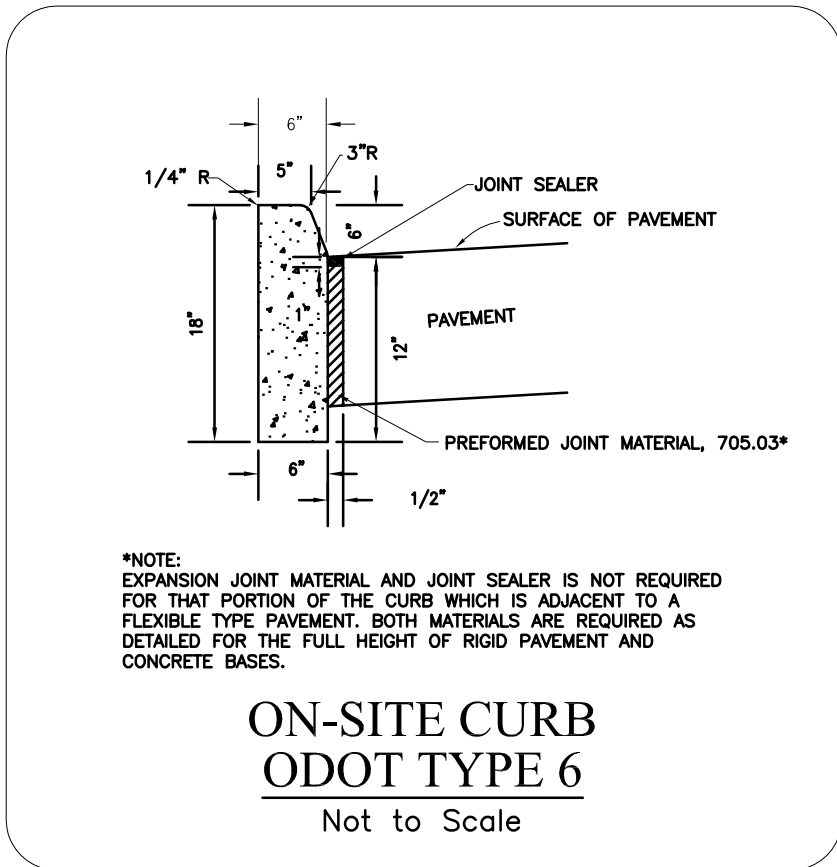
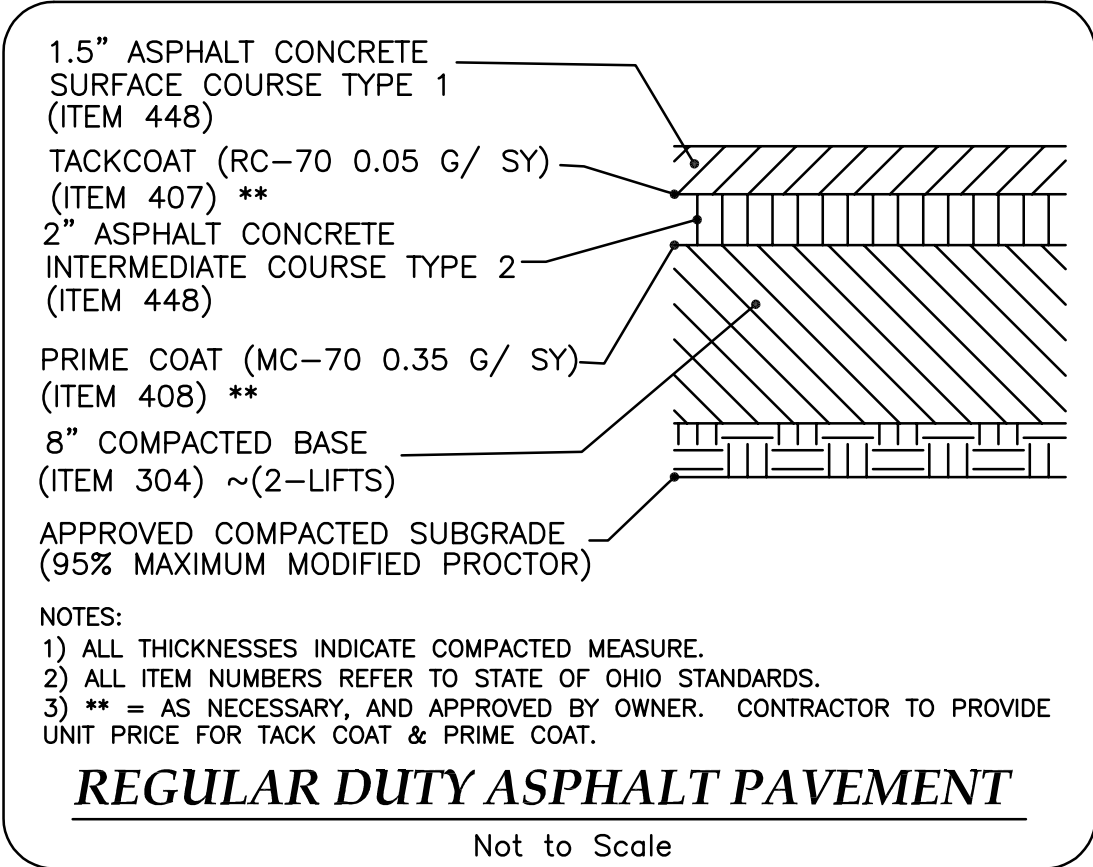
VICINITY MAP



AERIAL MAP

SHEET INDEX

C-0.0	TITLE & DETAILS SHEET.....	1 OF 7
C-1.0	DEMOLITION PLAN .....	2 OF 7
C-2.0	SITE PLAN .....	3 OF 7
C-3.0	GRADING PLAN .....	4 OF 7
C-4.0	UTILITY PLAN .....	5 OF 7 (Not Included in Zoning Submittal)
C-5.0	SOIL EROSION CONTROL.....	6 OF 7 (Not Included in Zoning Submittal)
L-1.0	LANDSCAPE PLAN .....	7 OF 7



OWNER / DEVELOPER  
GILLIGAN COMPANY LLC  
CINCINNATI, OHIO 45209  
PAT GILLIGAN (513) 321-9065 x14

PLANS PREPARED BY:  
LAND  
CONSULTANTS  
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associate companies and services  
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PLANS PREPARED FOR:  
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LLC  
3805 Edwards Road  
Suite 680  
Cincinnati, Ohio 45209

PROJECT NAME:  
  
DUNKIN'  
  
4969 Princeton Road  
Liberty Township  
Butler County, Ohio

SHEET TITLE:				TITLE	
LC PROJ. NO.	20-0018	BASE FILE NAME	134-20 CD.dwg	DRAWING NO.	
KBM PROJ. NO.	134-20	TAB NAME	TITLE		
DATE	3/13/20	SHEET		1 of 7	
SCALE	1"=20'	C 0.0			

BENCHMARK INFO:

TBM:  
TP #1 (MAG Nail Set)  
N:511444.28  
E:1415987.09  
ELEV= 840.09

DEMOLITION NOTES:

1.) EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS ACCORDING TO THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF THE EXISTING UTILITIES AND REPAIRING ANY DAMAGE DONE TO THE UTILITIES DURING PROBING OR CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY THE OHIO UTILITIES PROTECTION SERVICE AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION.

2.) THE REMOVAL AND DEMOLITION OF EXISTING FACILITIES ARE THE CONTRACTOR'S RESPONSIBILITY.

3.) UNLESS OTHERWISE NOTED, EXISTING PAVEMENT AND CONCRETE PAVEMENTS ARE TO BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.

4.) IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE ALL MUD, DIRT, GRAVEL, AND ANY OTHER MATERIALS TRACKED ONTO ANY PUBLIC OR PRIVATE STREETS OR SIDEWALKS. THE CONTRACTOR MUST USE WATER OR OTHER METHODS TO KEEP AIRBORNE DUST TO A REQUIRED MINIMUM.

5.) THE USE OF EXPLOSIVES IS PROHIBITED.

6.) ALL EXCAVATION FOR UTILITIES SHALL BE COORDINATED WITH UTILITY COMPANIES.

7.) ROAD, ROAD SHOULDERS, ROAD PAVEMENT, PARKING PAVEMENT, CURBS, DRIVEWAYS, SIDEWALKS, DITCHES, DRAINAGE PIPES AND STRUCTURES, FENCES, LAWNS, TREES, BUSHES, MAILBOXES, STREET AND PUBLIC SIGNS, ADVERTISEMENT SIGNS, ETC., DAMAGED DURING CONSTRUCTION SHALL BE RESTORED, RECONSTRUCTED, REPLACED, OR PROTECTED BY THE CONTRACTOR AT HIS EXPENSE. ALL DAMAGES TO EXISTING IMPROVEMENTS, EXCAVATION, AND/OR REMOVAL OF ANY AND ALL EXISTING IMPROVEMENTS SHALL BE KEPT TO A MINIMUM AND RESTORED OR REPLACED TO AT LEAST THEIR ORIGINAL CONDITION.

8.) THE CONTRACTOR IS RESPONSIBLE TO VERIFY THE QUANTITY AND SCOPE OF CLEARING AND GRUBBING NEEDED ON THE SITE. THE TREES, SHRUBS, AND GRASS AREAS SHOWN ON THIS PLAN ARE NOT INTENDED TO BE A TREE SURVEY OR OTHERWISE. CONTRACTOR SHALL ESTABLISH COMPLETE QUANTITIES OF VEGETATIVE REMOVAL REQUIRED.

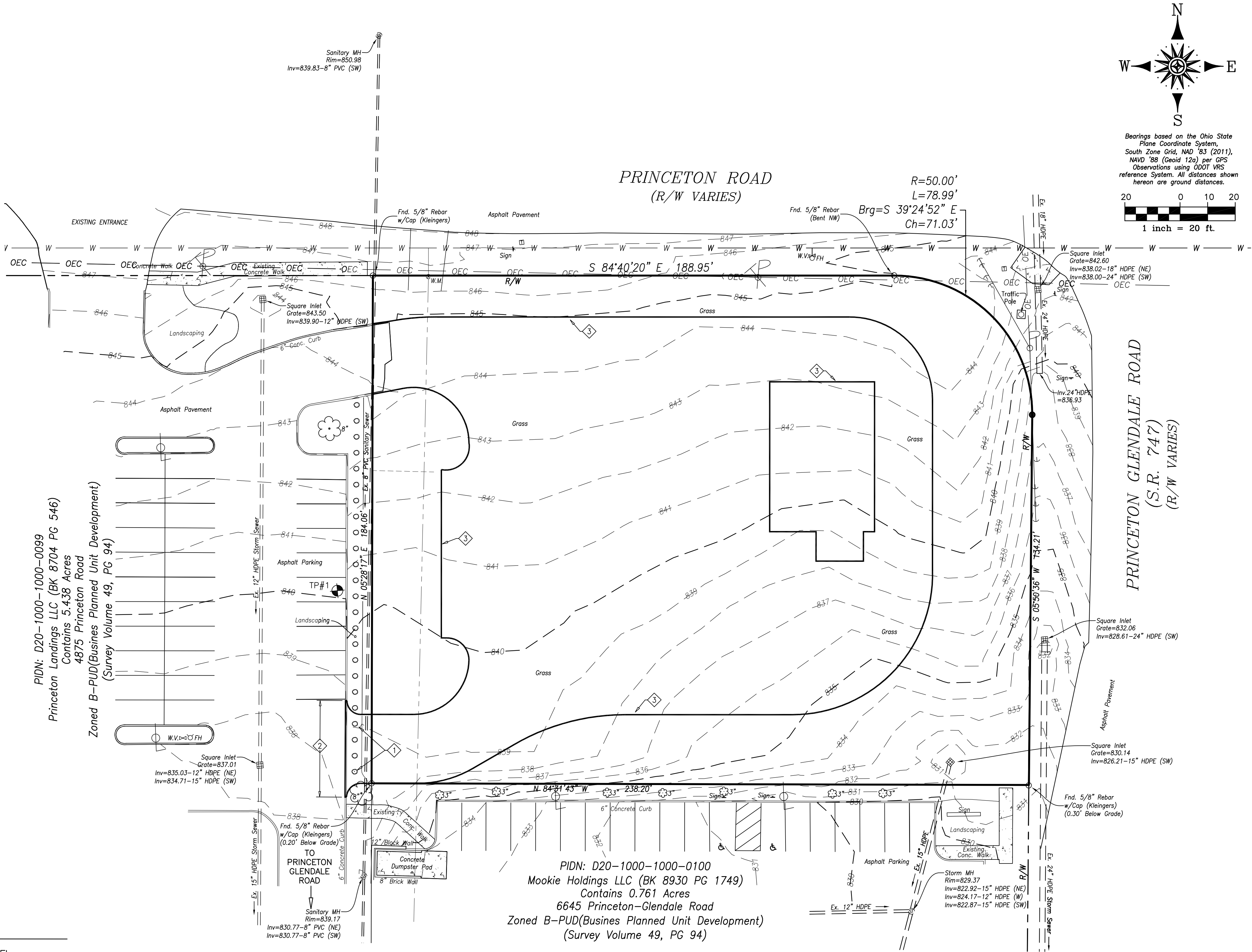
DEMOLITION KEYNOTES:

- 1 REMOVE 4 SHRUBS.
- 2 SAWCUT CURB AND REMOVE.
- 3 OUTLINE OF PROPOSED IMPROVEMENTS (BUILDING AND PAVEMENT) SHOWN FOR REFERENCE ONLY.

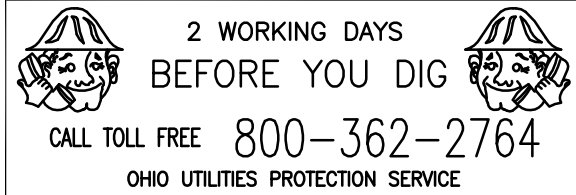
LEGEND

Existing	Proposed	Abbreviations
Anchor Guy	Bollard	FF Finished Floor
Power Pole	Electric Meter / CT Cabinet	MD Man Door
Light Pole	Telephone Service Box	W Water
Strain Pole	Gas Meter	G Gas
Combination Pole	# of Parking Spaces	SS Sanitary Sewer
Deciduous Tree	Concrete	OE Overhead Electric
Shrub		R/W Righ of Way
Fire Hydrant		
Water Valve		
Sanitary Manhole		
Clean Out		
Storm Manhole		
Catch Basin		
Catch Basin		
Catch Basin		
Street Sign		
Traffic Control Box		
3/8" IRON PIN SET		
TRAVERSE POINT		

All Back of Curb Radius are 5' unless otherwise noted.



UNDERGROUND UTILITIES ARE PLOTTED FROM A COMPILATION OF AVAILABLE RECORD INFORMATION AND SURFACE INDICATIONS OF UNDERGROUND STRUCTURES. PRECISE LOCATIONS AND THE EXISTENCE OR NON EXISTENCE OF UNDERGROUND UTILITIES CANNOT BE VERIFIED.



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PROJECT NAME:

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4969 Princeton Road  
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**DEMOLITION  
PLAN**

LC PROJ. NO.

20-0018

KBM PROJ. NO.

134-20

DATE

3/13/20

SCALE

1"=20'

BASE FILE NAME

134-20 CD.dwg

TAB NAME

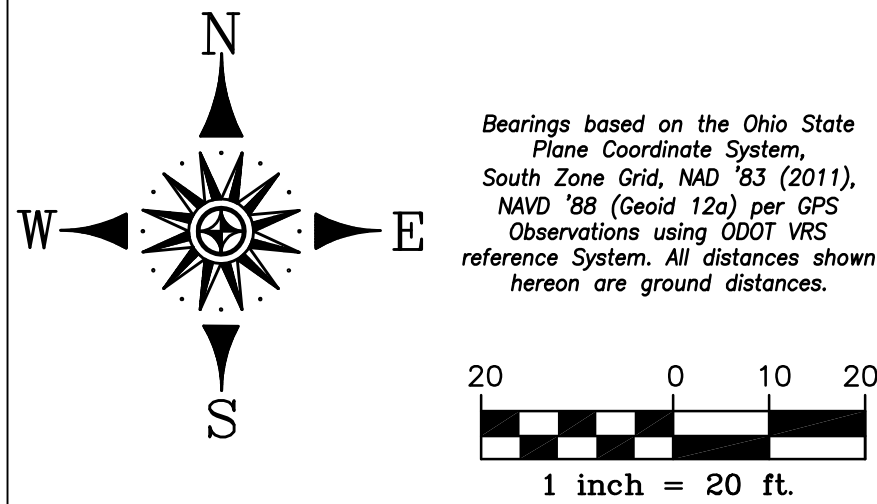
SITE PLAN

DRAWING NO.

**C 1.0**

SHEET 2 of 7





Developer

GILLIGAN COMPANY LLC  
CINCINNATI, OHIO 45209  
PAT GILLIGAN (513) 321-9065 x14  
(Parcel Contains 0.998 Acres)

Zoning Information:

Property is zoned B-PUD  
"Business Planned Unit Development"  
PGBD-O  
Princeton Glendale Overlay District

Restaurant & Drive Thru are an Allowed use.

Building Setbacks:  
Front (North) = 30'  
Front (East) = 30'  
South = None  
West = None

Parking Setbacks:  
Adjacent to ROW Princeton Road = 15'  
Adjacent to ROW Princeton Glendale Road = 15'  
Interior Property Line = 10'

Sign Code

Ground Sign

Setback = 10' from property line unless at intersection then 20' from ROW  
Max Height = 8'  
Max Sign Face = 32 sf

Directional Signs

Permitted

Menu Board Sign

Total Area = 48sf  
Max Height = 8'  
Setback = 15'

Parking Summary:

Use = Restaurant  
Required: 1 spaces/ 100sf indoor floor area  
(not including storage, restrooms and prep space)  
1 space/employee largest shift

2215 sf (2215 less 1389sf of storage/prep and bathrooms = 826 sf )  
826/100) = 8.26 spaces

Assume 6 employees largest shift

Required =20 spaces

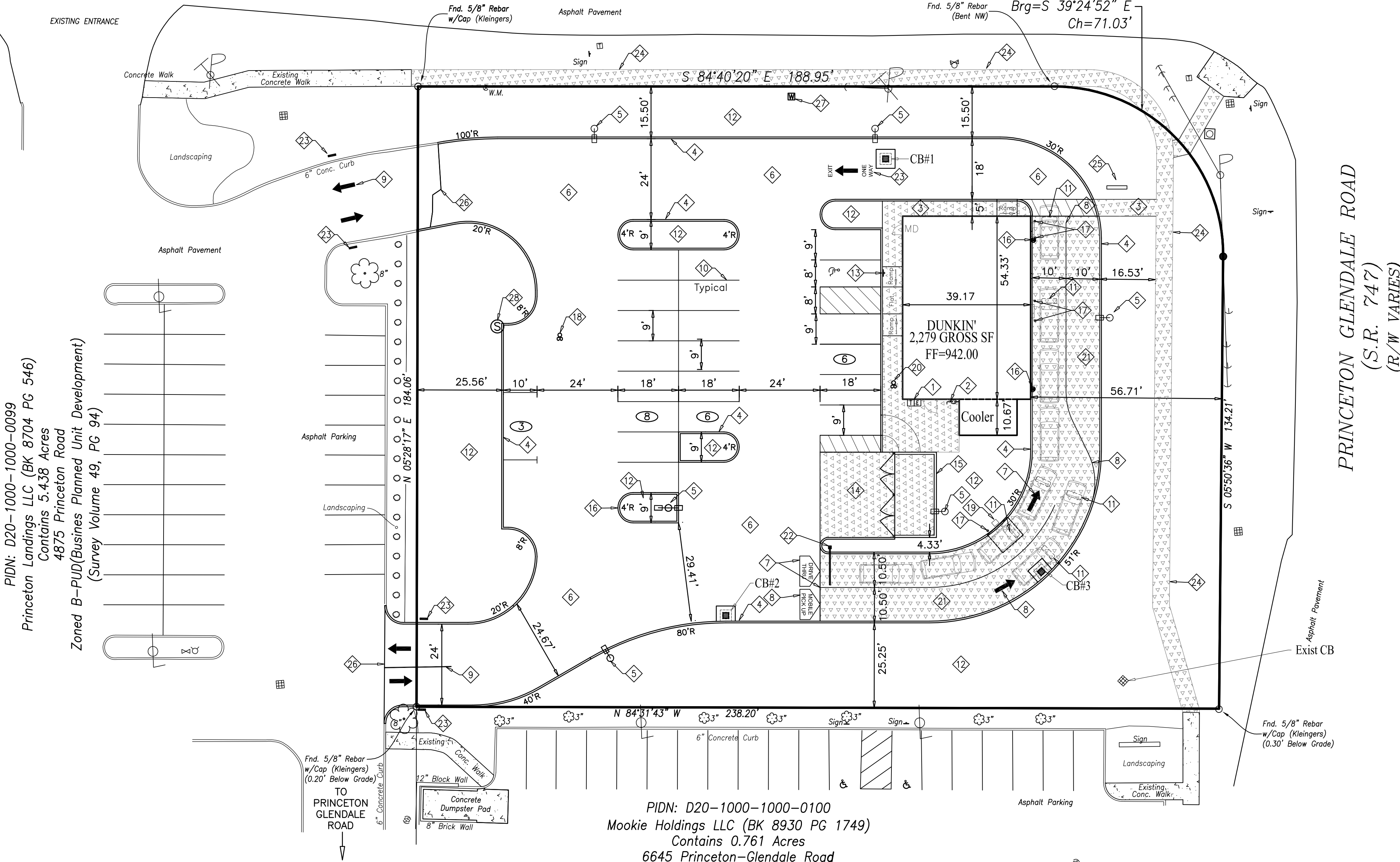
Spaces Provided  
21 Regular Spaces  
02 ADA/ Van Accessible Spaces  
23 Total Spaces

Drive Thru Window requires 8 stacking spaces from first point of service.

SITE PLAN KEYNOTES:

- 1 ELECTRIC AND TELEPHONE SERVICE ENTRANCES. (UTILITY CABINETS SHALL BE PAINTED TO MATCH BUILDING.)
- 2 NATURAL GAS METER AND SERVICE ENTRANCE. (UTILITY CABINETS SHALL BE PAINTED TO MATCH BUILDING.)
- 3 CONCRETE SIDEWALK, PROVIDE INTEGRAL CURB WHERE ADJACENT TO PARKING SPACES.
- 4 18" BARRIER CURB. SEE DETAIL ON CO.0 FOR FURTHER INFORMATION.
- 5 LIGHT POLE. FIXTURES AS SPECIFIED ON PHOTOMETRIC PLAN C4.1. MOUNTED FIXTURE HEIGHT WILL BE 16' ( 13' POLE ON 3' POLE BASE)
- 6 NEW REGULAR DUTY ASPHALT PAVEMENT SEE ASPHALT PAVEMENT DETAIL CO.0.
- 7 "DRIVE THRU","ARROW" & LANE STRIPE TO BE TP-04 ORANGE; SG-2 PAINT TEMPLATE FOR GRAPHICS AVAILABLE THROUGH NATL ACCOUNTS.
- 8 "MOBILE PICK UP","ARROW" & LANE STRIPE TO BE TP-05 PINK; SG-2 PAINT TEMPLATE FOR GRAPHICS AVAILABLE THROUGH NATL ACCOUNTS.
- 9 "ARROW" AND LANE STRIPE TO BE TP-01 WHITE, SG-2 PAINT TEMPLATE FOR GRAPHIC AVAILABLE THROUGH NATL ACCOUNTS.
- 10 PAVEMENT MARKINGS. ALL PAVEMENT MARKINGS SHALL CONFORM TO ODOT ITEM 641 AND OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. PAVEMENT MARKING MATERIAL SHALL BE PER ITEM 642 UNLESS OTHERWISE NOTED HEREIN.
- 11 18" X 54" GROUND LOOP VEHICLE DETECTOR. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION.
- 12 LANDSCAPE AREA.
- 13 HANDICAP PARKING SIGN. A MINIMUM ON ONE SPACE SHALL BE SIGNED "VAN ACCESSIBLE". SEE DETAIL ON CO.0 FOR FURTHER INFORMATION.
- 14 CONCRETE PAD-DIMENSIONS AS SHOWN. REFER TO DUMPSTER PAD DETAIL ON CO.0 FOR FURTHER INFORMATION.
- 15 DUMPSTER ENCLOSURE. EXTERIOR COLORS TO MATCH BUILDING. REFER TO SP1.2 FOR FURTHER INFORMATION.
- 16 EXTERIOR DOWNSPOUT LOCATIONS.
- 17 PIPE BOLLARD. REFER TO SP1.2 FOR FURTHER INFORMATION.
- 18 SANITARY CLEANOUT.

- 19 ALL IN ONE ORDER CANOPY. REFER TO SP1.2 FOR PLACEMENT DIAGRAM AND FURTHER INFORMATION.
- 20 SANITARY CLEANOUT & SERVICE ENTRANCE TO BUILDING.
- 21 6" CONCRETE PAD: BROOM FINISH, SLOPE PER GRADING PLAN. SEE "CONCRETE PAVEMENT SECTION" DETAIL CO.0 FOR FURTHER INFORMATION.
- 22 DUAL CLEARANCE BAR. REFER TO SP1.2 FOR FURTHER INFORMATION.
- 23 DIRECTIONAL SIGNAGE; REFER TO SP1.2 FOR FURTHER INFORMATION.
- 24 NEW 5' WIDE CONCRETE SIDEWALK IN ACCORDANCE WITH LIBERTY TOWNSHIP STANDARDS AND SPECIFICATIONS.
- 25 GROUND MOUNTED MONUMENT ID SIGN. 32SF MAX SIGN FACE, 8' TALL MAX. REFER TO SP1.2 FOR PLACEMENT DIAGRAM AND FURTHER INFORMATION.
- 26 EXISTING / NEW EDGE OF PAVEMENT.
- 27 NEW WATER METER.
- 28 SANATARY MANHOLE.



LEGEND

Existing	Proposed	Abbreviations
Anchor Guy	Bollard	FF Finished Floor
Power Pole	Electric Meter / CT Cabinet	MD Man Door
Light Pole	Telephone Service Box	W Water
Strain Pole	Gas Meter	G Gas
Combination Pole	# of Parking Spaces	SS Sanitary Sewer
Deciduous Tree	Concrete	OE Overhead Electric
Shrub		R/W Righ of Way
Fire Hydrant		
Water Valve		
Sanitary Manhole		
Clean Out		
Storm Manhole		
Catch Basin		
Catch Basin		
Catch Basin		
Street Sign		
Traffic Control Box		

All Back of Curb Radius are 5' unless otherwise noted.

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3805 Edwards Road  
Suite 680  
Cincinnati, Ohio 45209

PROJECT NAME:

**DUNKIN'**

4969 Princeton Road  
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Butler County, Ohio

SHEET TITLE:

**SITE**  
**PLAN**

LC PROJ. NO. 20-0018	BASE FILE NAME 134-20 CD.dwg
KBM PROJ. NO. 134-20	TAB NAME SITE PLAN
DATE 3-13-20	DRAWING NO. <b>C 2.0</b>
SCALE 1"=20'	SHEET 3 of 7



STORM SEWER DATA

- CB#1 (ODOT TYPE 2-2-B)  
TOP=841.10  
12" INV.(SW)=837.60
- (A) 142'~12" HDPE STM @ 2.50%
- CB#2 (ODOT TYPE 2-2-B)  
TOP=839.75  
12"INV.(NE,E)=834.05
- (B) 95'~12" HDPE STM @ 2.50%

- CB#3 (ODOT TYPE 2-2-B)  
TOP=839.10  
6"INV.(N)=836.50  
12"INV.(W,SE)=831.67
- (C) 37'~12" HDPE STM @ 12.60%
- Exist CB TOP=830.14  
12"INV.(NW)=827.00  
Ex.15"INV.(SW)=826.21

- Downspout invert @ building  
839.00 (FF-3.0')  
Downspout inverts and pipe  
slopes are given for guidance  
only. Contractor to be  
responsible to adjust inverts or  
slopes as required to avoid  
conflicts with crossing utility  
lines. In no case shall the the  
slope be less than 2.0%
- (a) 98'~6" PVC SDR 35 (or Equal) @ 2.55%

STORM SEWER NOTES

1. ALL STORM SEWER PIPE SHALL BE ADS N-12 OR EQUAL.
2. CONNECTION TO EXISTING CATCH BASINS SHALL BE CORE DRILLED AND FITTED WITH FLEXIBLE BOOTS TO FORM A WATERTIGHT CONNECTION.

GRADING PLAN KEYNOTES:

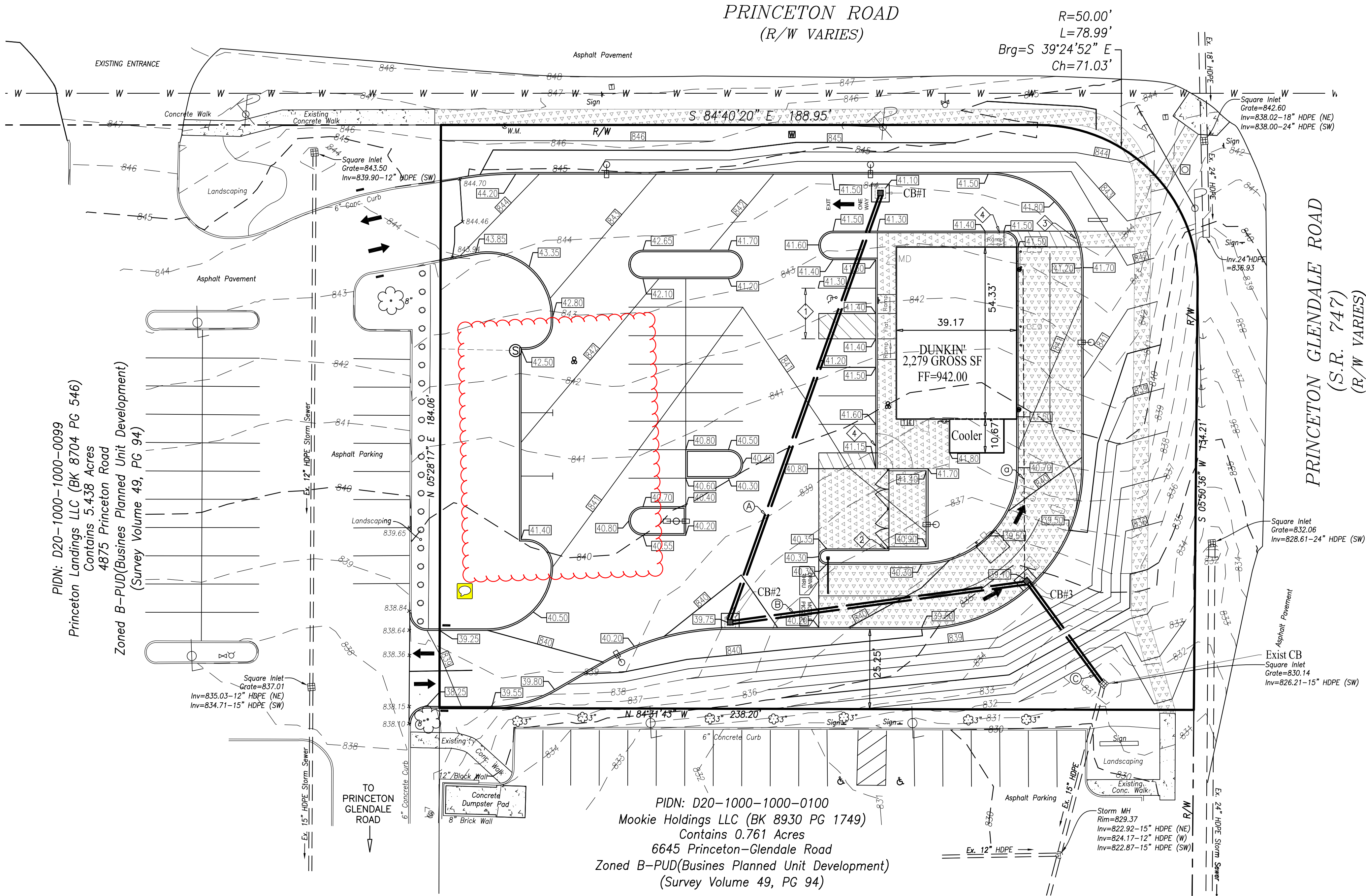
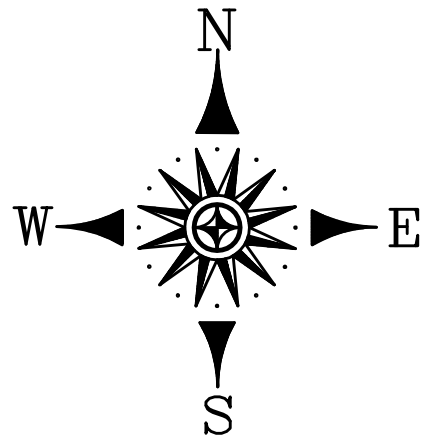
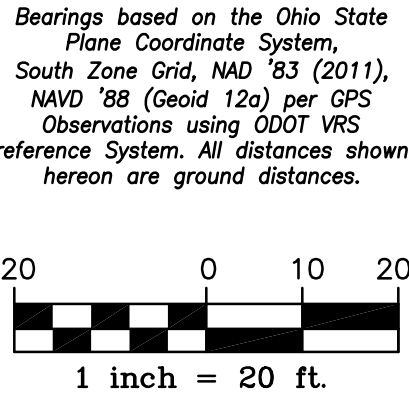
- ◇ SLOPE IN HANDICAPPED PARKING SHALL NOT EXCEED 2.0% IN ANY DIRECTION.
- ◇ CURB END TAPER. SEE DETAIL C0.0 FOR FURTHER INFORMATION.
- ◇ PROVIDE 12" TRANSITION EACH SIDE AND DEPRESS CURB THRU SIDEWALK. CURB TO BE FLUSH WITH ASPHALT THRU OPENING FOR RAMP.
- ◇ TRANSITION CURB FROM FULL 6" HEIGHT TO 0" AT RAMP LANDING. DEPRESS CURB THRU LANDING.
- NOTE: ALL SIDEWALK RAMPS SHALL BE ADA COMPLIANT. RAMP SLOPES SHALL NOT BE GREATER THAN 1:12. NO CROSS-SLOPE SHALL BE GREATER THAN ¼"/FT.

STORMWATER MANAGEMENT:

STORMWATER RUNOFF (VOLUME & RATE) AND WATER QUALITY IS MANAGED BY DETENTION BASIN LOCATED IN THE SOUTHEAST CORNER OF LOT "B" AS DEPICTED ON THE PLAT OF SURVEY RECORDED IN VOLUME 49 PAGE 94 ON FILE WITH THE BUTLER COUNTY ENGINEERS OFFICE. THE RIGHTS TO UTILIZE AND CONNECT TO THE DRAINAGE LINES LEADING TO SAID DETENTION BASIN ARE PROVIDED FOR IN THE STORM DRAINAGE MAINTENANCE AGREEMENT RECORDED IN BK 7742 PG 1121 OF THE BUTLER COUNTY RECORDERS RECORDS

GRADING GENERAL NOTES:

1. ALL PROPOSED SPOT ELEVATIONS INDICATED IN PAVEMENT AREAS ARE THE TOP OF PAVEMENT.
2. ALL PROPOSED SPOT ELEVATIONS INDICATED IN GRASS, LANDSCAPE AREAS, OR CONCRETE SURFACE AREAS ARE FINISHED GRADE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL VEGETATION AND ORGANIC MATERIALS FROM THE SITE THAT RESULT FROM CLEARING AND GRUBBING ACTIVITIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR STRIPPING AND REMOVAL OF ALL EXCESS TOPSOIL FROM THE SITE. ALL TOPSOIL THAT CAN NOT BE USED ON SITE SHALL BE REMOVED AND DISPOSED OF AT THE CONTRACTORS EXPENSE.
5. THE CONTRACTOR MAY DISPOSE OF EXCESS TOPSOIL AND OBTAIN FILL MATERIAL BY BURYING TOPSOIL IN LANDSCAPE AREAS ONLY AT THE DIRECTION OF THE OWNER OR THE OWNER'S REPRESENTATIVE.
6. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SAFETY REQUIREMENTS AND FOR THE PROTECTION OF ALL EXISTING AND PROPOSED UTILITIES OR STRUCTURES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMPORT OF STRUCTURAL FILL MATERIALS IF SUITABLE MATERIAL IS NOT AVAILABLE ON SITE. THE LOCATION OF, AND TESTING OF, SUITABLE MATERIAL SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EXPORT AND DISPOSAL OF EXCESS OR UNSUITABLE MATERIALS.
9. THE CONTRACTOR SHALL EXERCISE EXTREME CARE IN ESTABLISHING ALL GRADES AND SLOPES IN PAVEMENT AREAS. DRAINAGE IS CRITICAL. ALL PARKING LOT SLOPES SHALL BE A MINIMUM OF 1.0% AND A MAXIMUM OF 5.0% UNLESS SHOWN SPECIFICALLY ON THIS PLAN OR APPROVED BY OWNER. NOTIFY ENGINEER OR OWNERS REP. IF ABOVE SLOPES ARE NOT ABLE TO BE MAINTAINED.
10. THE CONTRACTOR SHALL EXERCISE EXTREME CARE IN ESTABLISHING ALL GRADES AND SLOPES IN PAVEMENT AREAS, RAMPS AND SIDEWALKS IN THE VICINITY OF HANDICAP PARKING AND ACCESS AREAS AND SHALL COMPLY WITH FEDERAL, STATE AND LOCAL CODES. GRADES SHALL NOT EXCEED 2.0%.
11. THE CONTRACTOR SHALL PROVIDE FOR POSITIVE DRAINAGE IN ALL AREAS. THE PAVEMENT SHALL BE TESTED FOR ANY PONDING CONDITIONS AFTER INSTALLATION AND CORRECTED.
12. IN AREAS WHERE SHEET DRAINAGE FLOWS FROM GRASS OR LANDSCAPE AREAS ONTO PAVED AREAS, THE FINISHED GRADE IN GRASS OR LANDSCAPE AREAS SHALL BE 1/2 INCH ABOVE THE TOP OF CURB OR ABOVE THE PAVEMENT IN AREAS WITHOUT CURB. IN AREAS WHERE SHEET DRAINAGE FLOWS FROM PAVEMENT TO GRASS OR LANDSCAPED AREAS, THE FINISHED GRADE IN GRASS OR LANDSCAPED AREAS SHALL BE 1/2" BELOW THE PAVEMENT.



LEGEND

- Existing Grade  $\pm 840.00$
- Proposed Grade  $\pm 00.00$
- Existing Contour  $\text{---} \text{---} \text{---}$
- Proposed Contour  $\text{---} \text{---} \text{---}$
- Direction of Drainage  $\text{---} \text{---} \text{---}$
- All grades in pavement area are  
pavement grades, add 6" to top of curb.  
(Add 800' to the number shown on plan for true elevation)

ABBREVIATIONS

- FF Finished Floor  
MD Man Door  
HP High Point  
MEG Match Existing Grade

PLANS PREPARED BY:



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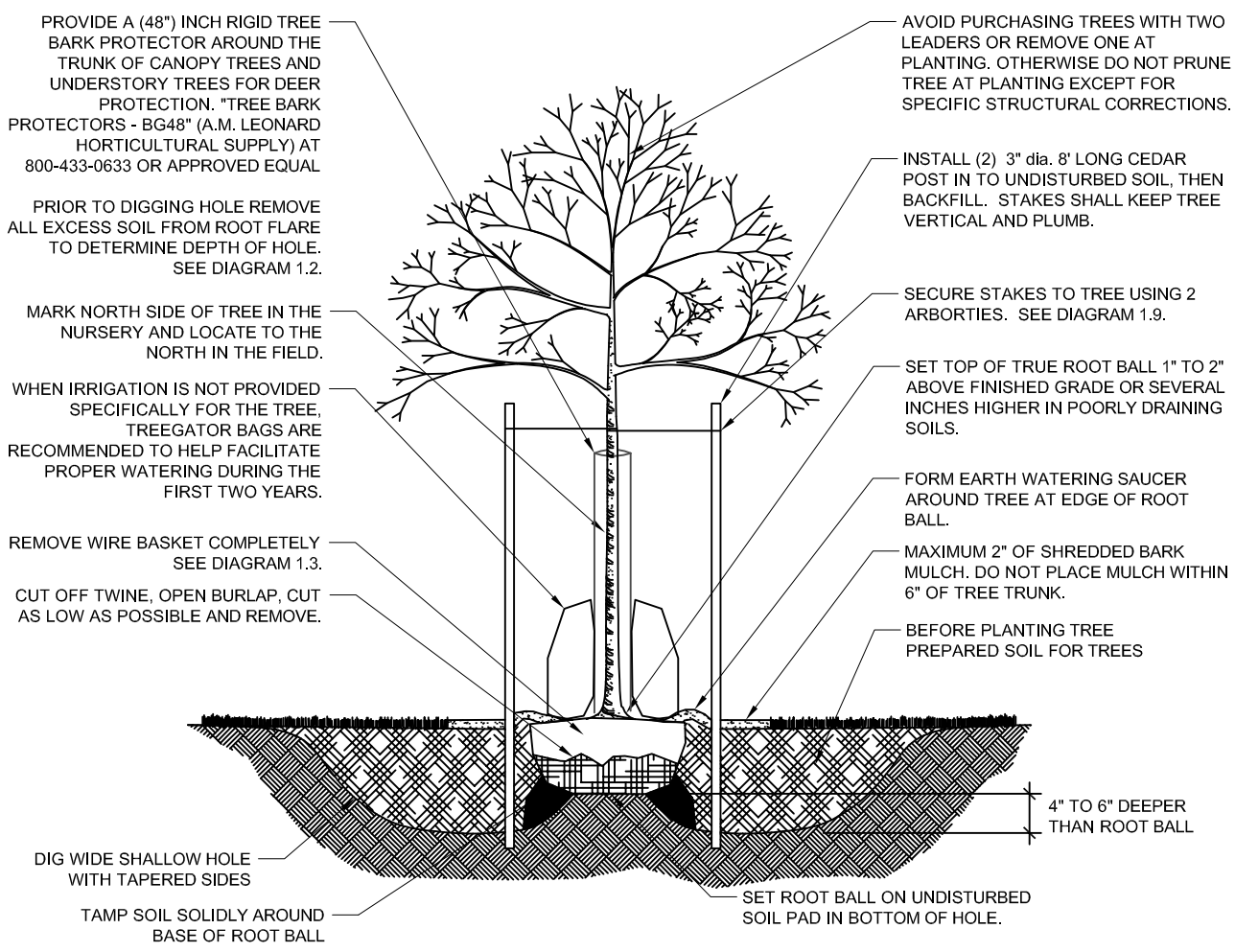
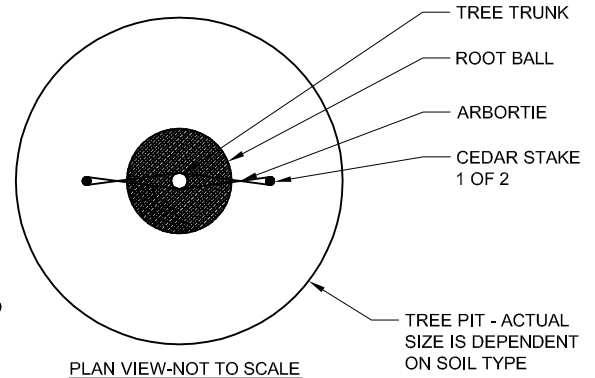
GRADING  
PLAN

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SCALE 1"=20'	SHEET 4 of 7



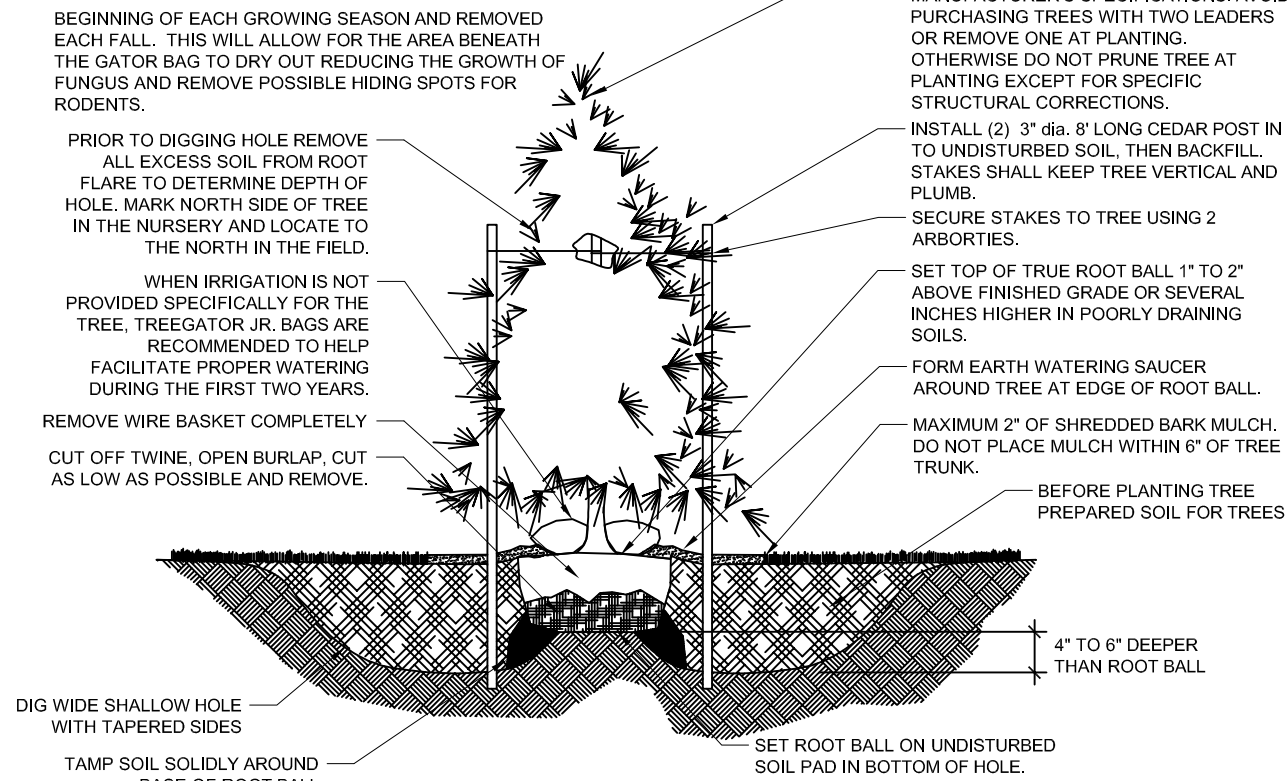
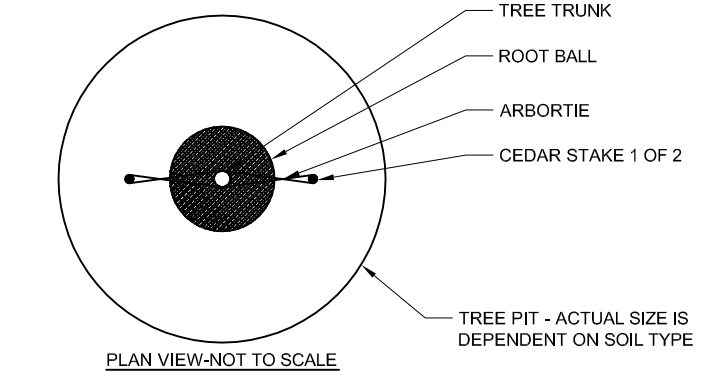
If this sheet is not 24" by 36" it is a reduced print, scale accordingly

1. FOR CONTAINER GROWN TREES USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL, THEN CUT OR PULL APART ANY ROOT CIRCLING THE PERIMETER OF THE CONTAINER.
2. INCORPORATE COMMERCIALLY PREPARED MYCORRHIZAE SPORES AND FERTILIZER TABLETS IN THE SOIL IMMEDIATELY AROUND THE ROOT BALL AT RATE SPECIFIED BY THE MANUFACTURER.
3. PRIOR TO INSTALLATION CONFIRM THE SOILS WILL DRAIN PROPERLY. IF NECESSARY PROVIDE PROPER DRAINAGE.
4. THOROUGHLY SOAK THE ROOT BALL AND THE ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO GROWING SEASONS. WHEN IRRIGATION IS NOT PROVIDED SPECIFICALLY FOR THE TREE, IT IS RECOMMENDED THAT GATOR BAGS ARE USED TO HELP FACILITATE THE PROPER AMOUNT AND RATE OF WATER ARE ACHIEVED. GATOR BAGS WILL BE REMOVED AT THE END OF THE SECOND GROWING SEASON UNLESS OTHERWISE ADVISED.

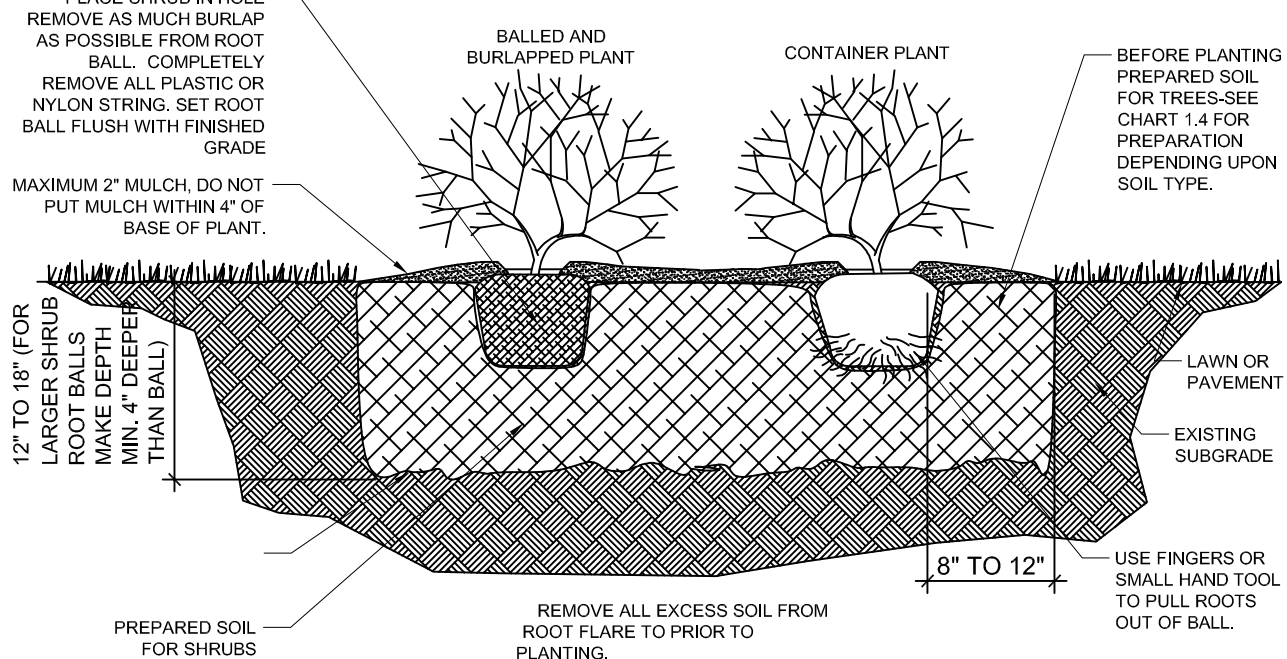


### DECIDUOUS TREE PLANTING DETAIL

1. FOR CONTAINER GROWN TREES USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL, THEN CUT OR PULL APART ANY ROOT CIRCLING THE PERIMETER OF THE CONTAINER.
2. INCORPORATE COMMERCIALLY PREPARED MYCORRHIZAE SPORES AND FERTILIZER TABLETS IN THE SOIL IMMEDIATELY AROUND THE ROOT BALL AT RATE SPECIFIED BY THE MANUFACTURER.
3. PRIOR TO INSTALLATION CONFIRM THE SOILS WILL DRAIN PROPERLY. IF NECESSARY PROVIDE PROPER DRAINAGE.
4. THOROUGHLY SOAK THE ROOT BALL AND THE ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS. WHEN IRRIGATION IS NOT PROVIDED SPECIFICALLY FOR THE TREE, IT IS RECOMMENDED THAT GATOR BAGS ARE USED TO HELP FACILITATE THE PROPER AMOUNT AND RATE OF WATER ARE ACHIEVED. GATOR BAGS SHALL BE INSTALLED AT THE BEGINNINGS OF EACH GROWING SEASON AND REMOVED EACH FALL. THIS WILL ALLOW FOR THE AREA BENEATH THE GATOR BAG TO DRY OUT REDUCING THE GROWTH OF FUNGUS AND REMOVE POSSIBLE HIDING SPOTS FOR RODENTS.

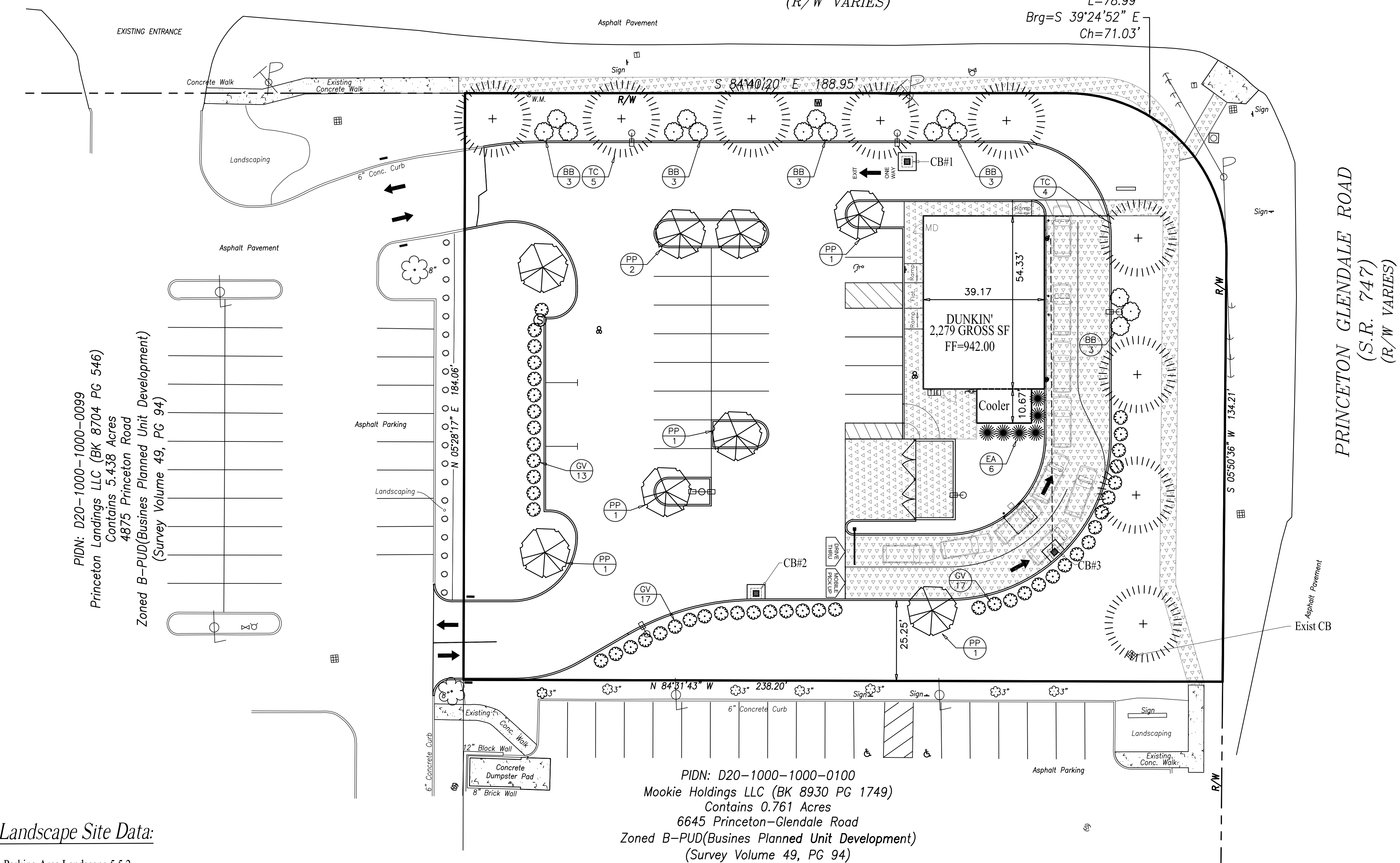


### CONIFEROUS TREE PLANTING DETAIL



1. FOR CONTAINER GROWN TREES USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL, THEN CUT OR PULL APART ANY ROOT CIRCLING THE PERIMETER OF THE CONTAINER.
2. INCORPORATE COMMERCIALLY PREPARED MYCORRHIZAE SPORES AND FERTILIZER TABLETS IN THE SOIL IMMEDIATELY AROUND THE ROOT BALL AT RATE SPECIFIED BY THE MANUFACTURER.
3. PRIOR TO INSTALLATION CONFIRM THE SOILS WILL DRAIN PROPERLY. IF NECESSARY PROVIDE PROPER DRAINAGE.
4. THOROUGHLY SOAK THE ROOT BALL AND THE ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.

### SHRUB PLANTING DETAIL



### Landscape Site Data:

Parking Area Landscape 5.5.2

Perimeter shrubs or mounding 3' high, 60 % opacity- screen headlights.  
North side - {grade difference of ±4', no screening required}  
East side - {17 shrubs provided}  
West side - {17 shrubs provided}  
South side - {17 shrubs provided}

Street Trees 5.5.3

1 tree per 40 feet of road frontage.  
1.5" min. DBH  
Princeton Road 189'/40 = 4.7 = 5 trees required, {5 trees provided}  
Princeton Glendale Road 135'/40 = 3.37 = 4 trees required {4 trees provided}

Landscaping and Screening for Parking and Loading Areas 8.5.2

One tree for every 5 parking spaces, to be planted around the perimeter of the lot.  
Trees shall have a minimum of 1.5" caliper DBH for deciduous and minimum height of 6' for evergreens.  
1 tree/5 parking spaces, 5 trees required, {9 trees provided}

A minimum of 3 shrubs planted between the trees required per 5 parking spaces.  
3 shrubs between trees 12 required, {15 provided}

1 tree per landscape Island.  
3 parking islands, {3 trees provided}

### Site Characteristics:

Site Contains 0.9980 Acres or 43,473 s.f.

Open Space:

Landscape Areas = 17,734 s.f. (41%)  
Buildings, Asphalt, & Concrete = 25,743 s.f. (59%)

### LANDSCAPE PLAN GENERAL NOTES:

1. ALL LANDSCAPE AREAS TO BE GRASS COMMON TO REGION EXCEPT WHERE OTHER PLANT MATERIAL IS CALLED FOR. CONTRACTOR TO PROVIDE HYDROSEED OR SOD.
2. ANY LANDSCAPE AREAS DISTURBED BY CONSTRUCTION SHALL BE SCARIFIED TO A DEPTH OF 2" AND GRADED SMOOTH TO ALLOW FOR POSITIVE DRAINAGE. ALL ROW CURB AND GUTTERS ARE TO BE CLEANED OF DEBRIS.
3. THE CONTRACTOR SHALL PROVIDE A WATER PERMEABLE WEED MAT FOR ALL PLANTING BEDS.
4. EACH TREE NOT SHOWN INSIDE A PLANTING BED SHALL HAVE ITS OWN INDIVIDUAL MULCH RING AROUND BASE OF PLANT.
5. ALL MULCH SHALL BE BLACK WOOD BARK MULCH A MINIMUM OF THREE(3) INCHES THICK.

KEY	SYMBOL	QTY	COMMON NAME	SCIENTIFIC NAME	SIZE	MATURE SPREAD
AG		9	Greenspire Linden	Tilia Cordata 'Greenspire'	1.5" cal.	30'-50' tall x 25'-30' wide
PP		8	Purple Prince Crabapple	Malus 'Purple Prince'	1.5" cal.	15' tall x 15' wide
BB		15	Burning Bush	Euonymus a. Compactus	24" Height	8' tall x 6' wide
GV		47	Green Velvet Boxwood	Buxus 'Green Velvet'	#2	4' tall x 4' wide
EA		6	Emerald Arborvitae	Thuja Occidentalis 'Emerald'	6'	15' tall x 4' wide

PLANS PREPARED BY:

**LAND**  
CONSULTANTS  
*SBE Certified*  
associate companies and services  
THE ENGINEERING GROUP  
THE SURVEY COMPANY  
LAND DEVELOPMENT CONSULTING  
COMMUNITY AND ECONOMIC PLANNING

314 FRONT STREET  
LAWRENCEBURG, IN 47025  
(812) 537-2145  
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(888) 537-2145

555 GUEST STREET  
SUITE 200  
CINCINNATI, OH 45203  
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IN ASSOCIATION WITH:

**Kara**  
**Burkhardt**  
**Meineke**

5335 Far Hills Avenue  
Suite 305  
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Phone: (937)-838-6930  
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KBURK999@SBCGLOBAL.NET

PLANS PREPARED FOR:

**GILLIGAN**  
**COMPANY**  
**LLC**

3805 Edwards Road  
Suite 680  
Cincinnati, Ohio 45209

PROJECT NAME:

**DUNKIN'**

4969 Princeton Road  
Liberty Township  
Butler County, Ohio

SHEET TITLE:

**LANDSCAPE**  
**PLAN**

LC PROJ. NO. 20-0018	BASE FILE NAME 134-20 CD.dwg
KBM PROJ. NO. 134-20	TAB NAME SITE PLAN
DATE 3/13/20	DRAWING NO. <b>L 1.0</b>
SCALE 1"=20'	SHEET 7 of 7



Project		Catalog #		Type	
Prepared by		Notes		Date	



## Lumark

### PRV / PRV-XL Prevail LED

#### Area / Site Luminaire

#### Typical Applications

Outdoor • Parking Lots • Walkways • Roadways • Building Areas

#### Interactive Menu

- Ordering Information [page 2](#)
- Mounting Details [page 3](#)
- Optical Configurations [page 3](#)
- Product Specifications [page 3](#)
- Energy and Performance Data [page 4](#)
- Control Options [page 5](#)

#### Product Certifications



#### Product Features

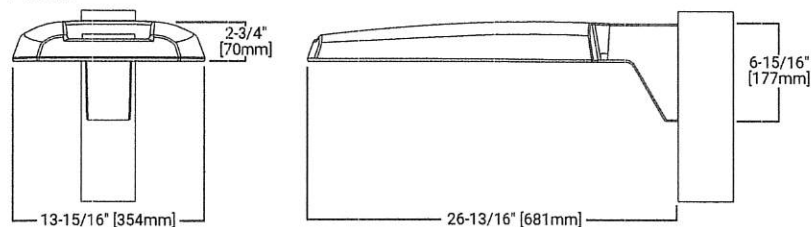


#### Quick Facts

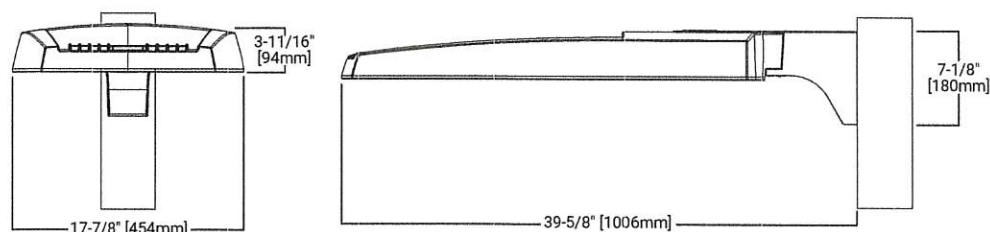
- Lumen packages range from 7,100 - 48,600 lumens (50W - 350W)
- Replaces 70W up to 1,000W HID equivalents
- Efficacies up to 148 lumens per watt
- Energy and maintenance savings up to 85% versus HID solutions
- Standard universal quick mount arm with universal drill pattern

#### Dimensional Details

##### Prevail



##### Prevail XL




## Ordering Information

SAMPLE NUMBER: PRV-XL-C75-D-UNV-T4-SA-BZ

Product Family <sup>1,2</sup>	Light Engine <sup>3</sup>	Driver	Voltage	Distribution	Mounting (Included)	Color
PRV=Prevail	C15=(1 LED) 7,100 Nominal Lumens C25=(2 LEDs) 13,100 Nominal Lumens C40=(2 LEDs) 17,100 Nominal Lumens C60=(2 LEDs) 20,000 Nominal Lumens	D=Dimming (0-10V)	UNV=Universal (120-277V) 347=347V 480=480V <sup>4</sup>	T2=Type II T3=Type III T4=Type IV T5=Type V	SA=Standard Versatile Arm MA=Mast Arm WM=Wall Mount Arm	AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White
PRV-XL=Prevail XL	C75=(4 LED) 26,100 Nominal Lumens C100=(4 LED) 31,000 Nominal Lumens C125=(4 LED) 36,000 Nominal Lumens C150=(6 LED) 41,100 Nominal Lumens C175=(6 LED) 48,600 Nominal Lumens					
Options (Add as Suffix)			Accessories (Order Separately) <sup>17</sup>			
7030=70 CRI / 3000K CCT <sup>5</sup> 7050=70 CRI / 5000K CCT <sup>5</sup> HSS=House Side Shield <sup>6</sup> L90=Optics Rotated 90° Left R90=Optics Rotated 90° Right 10K=10kV/10kA UL 1449 Fused Surge Protective Device HA=50°C High Ambient Temperature <sup>7</sup> PER=NEMA 3-PIN Twistlock Photocontrol Receptacle PER7=NEMA 7-PIN Twistlock Photocontrol Receptacle MSP/DIM-L12=Integrated Sensor for Dimming Operation, 8' - 12' Mounting Height <sup>8,9</sup> MSP/DIM-L30=Integrated Sensor for Dimming Operation, 12' - 30' Mounting Height <sup>8,9</sup> MSP-L12=Integrated Sensor ON/OFF Operation, 8' - 12' Mounting Height <sup>8,9</sup> MSP-L30=Integrated Sensor ON/OFF Dimming Operation, 12' - 30' Mounting Height <sup>8,9</sup> MS/DIM-L20=Motion Sensor for Dimming Operation, 9' - 20' Mounting Height <sup>9,10</sup> MS/DIM-L40W=Motion Sensor for Dimming Operation, 21' - 40' Mounting Height <sup>9,10</sup> MS-L20=Motion Sensor for ON/OFF Operation, 9' - 20' Mounting Height <sup>9,10</sup> MS-L40W=Motion Sensor for ON/OFF Operation, 21' - 40' Mounting Height <sup>9,10</sup> ZW=WaveLinx-enabled 4-PIN Twistlock Receptacle <sup>9,11,12</sup> ZW-SWPD4XX=WaveLinx Wireless Sensor, 7' - 15' Mounting Height <sup>9,11,12,13</sup> ZW-SWPD5XX=WaveLinx Wireless Sensor, 15' - 40' Mounting Height <sup>9,11,12,13</sup> LWR-LW=LumaWatt Pro Wireless Sensor, Wide Lens for 8' - 16' Mounting Height <sup>9,14</sup> LWR-LN=LumaWatt Pro Wireless Sensor, Narrow Lens for 16' - 40' Mounting Height <sup>9,14</sup> (See Table Below)=LumenSafe Integrated Network Security Camera <sup>15,16</sup>			PRVWM-XX=Wall Mount Kit <sup>8</sup> PRVMA-XX=Mast Arm Mounting Kit <sup>8</sup> PRVSA-XX=Standard Arm Mounting Kit <sup>8</sup> PRVLSA-XX=Standard Arm Mounting Kit (for Prevail XL) <sup>15</sup> PRVXLWM-XX=Wall Mount Kit (for Prevail XL) <sup>15</sup> PRVXLMA-XX=Mast Arm Mounting Kit (for Prevail XL) <sup>15</sup> MA1010-XX=Single Tenon Adapter for 3-1/2" O.D. Tenon MA1011-XX=2@180° Tenon Adapter for 3-1/2" O.D. Tenon MA1017-XX=Single Tenon Adapter for 2-3/8" O.D. Tenon MA1018-XX=2@180° Tenon Adapter for 2-3/8" O.D. Tenon HS/VERD=House Side Shield <sup>6,18</sup> VGS-F/B=Vertical Glare Shield, Front/Back <sup>18</sup> VGS-SIDE=Vertical Glare Shield, Side <sup>18</sup> OA/RA1013=Photocontrol Shorting Cap OA/RA1014=NEMA Photocontrol - 120V OA/RA1016=NEMA Photocontrol - Multi-Tap 105-285V OA/RA1201=NEMA Photocontrol - 347V OA/RA1027=NEMA Photocontrol - 480V ISHH-01=Integrated Sensor Programming Remote <sup>19</sup> FSIR-100=Wireless Configuration Tool for Occupancy Sensor <sup>20</sup> SWPD4-XX=WaveLinx Wireless Sensor, 7' - 15' Mounting Height <sup>12,13,21</sup> SWPD5-XX=WaveLinx Wireless Sensor, 15' - 40' Mounting Height <sup>12,13,21</sup> WOLC-7P-10A=WaveLinx Outdoor Control Module (7-PIN) <sup>22</sup>			
<b>NOTES:</b> 1. DesignLights Consortium® Qualified. Refer to <a href="http://www.designlights.org">www.designlights.org</a> Qualified Products List under Family Models for details. 2. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for applications. Refer to installation instructions and pole white paper WP513001EN for additional support information. 3. Standard 4000K CCT and 70CRI. 4. Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems). 5. Use dedicated IES files on product website for non-standard CCTs. 6. Option will come factory-installed. House Side Shield not suitable with T5 distribution or C60 lumen package. 7. Not available with C60 lumen package. 8. Only available in PRV configurations C15, C25, C40 or C60. 9. Controls system is not available with photocontrol receptacle (PER or PER7) or other controls systems (MS, MSP, ZW or LWR). 10. Utilizes the Wattstopper sensor FSP-211. 11. Sensor passive infrared (PIR) may be overly sensitive when operating below -20°C (-4°F). 12. In order for the device to be field-configurable, requires WAC Gateway components WAC-PoE and WPOE-120 in appropriate quantities. Only compatible with WaveLinx system and software and requires system components to be installed for operation. See website for more WaveLinx application information. 13. Replace XX with sensor color (WH, BZ, or BK). 14. LumaWatt Pro wireless sensors are factory installed and require network components LWP-EM-1, LWP-GW-1, and LWP-PoE8 in appropriate quantities. See website for LumaWatt Pro application information. 15. Only available in PRV-XL configurations C75, C100, C125, C150, or C175. 16. Not available with 347V, 480V, or HA options. Consult LumenSafe system product pages for additional details and compatibility information. 17. Replace XX with paint color. 18. Must order one per optic/LED when ordering as a field-installable accessory (1, 2, 4, or 6). 19. This tool enables adjustment to Integrated Sensor (MSP) parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Eaton for more information. 20. This tool enables adjustment to Motion Sensor (MS) parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Eaton for more information. 21. Requires WaveLinx-enabled 4-PIN twistlock receptacle (ZW) option. 22. Requires 7-PIN NEMA twistlock photocontrol receptacle (PER7) option. The WOLC-7 cannot be used in conjunction with other controls systems (MS, MSP, ZW or LWR).						

## LumenSafe Integrated Network Security Camera Technology Options (Add as Suffix)

Product Family	Camera Type	Data Backhaul
L=LumenSafe Technology 	D=Dome Camera	C=Cellular, Customer Installed SIM Card A=Cellular, Factory Installed AT&T SIM Card V=Cellular, Factory Installed Verizon SIM Card S=Cellular, Factory Installed Sprint SIM Card E=Ethernet Networking

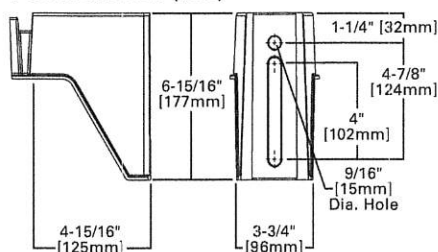
## Stock Ordering Information

Product Family <sup>1</sup>	Light Engine	Voltage	Distribution	Options (Add as Suffix)
PRVS=Prevail	C15=(1 LED) 7,100 Nominal Lumens C25=(2 LEDs) 13,100 Nominal Lumens C40=(2 LEDs) 17,100 Nominal Lumens C60=(2 LEDs) 20,000 Nominal Lumens	UNV=Universal (120-277V) 347=347V <sup>2</sup>	T3=Type III T4=Type IV	MSP/DIM-L30=Integrated Sensor for Dimming Operation, Maximum 30' Mounting Height <sup>2</sup>
PRVS-XL=Prevail XL	C75=(4 LED) 26,100 Nominal Lumens C100=(4 LED) 31,000 Nominal Lumens C125=(4 LED) 36,000 Nominal Lumens C150=(6 LED) 41,100 Nominal Lumens C175=(6 LED) 48,600 Nominal Lumens			
<b>NOTES:</b> 1. All stock configurations are standard 4000K/70CRI, bronze finish, and include the standard versatile mounting arm. 2. Only available in PRVS configurations C15, C25, C40 or C60.				

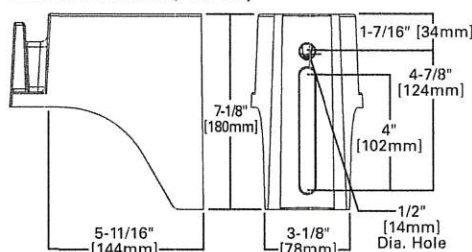


## Mounting Details

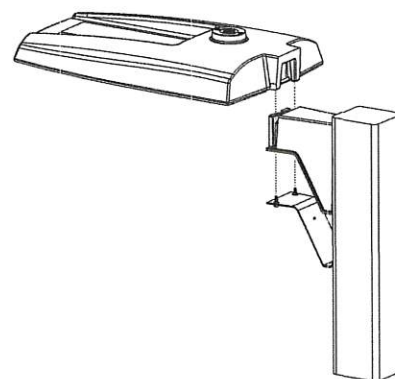
### Pole Mount Arm (PRV)



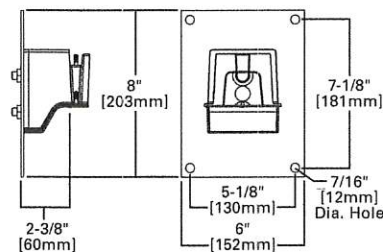
### Pole Mount Arm (PRV-XL)



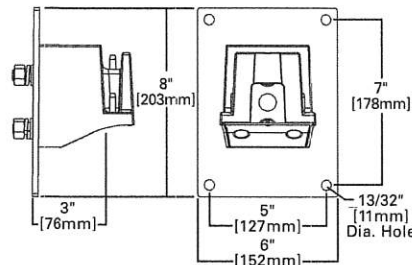
### Versatile Mount System



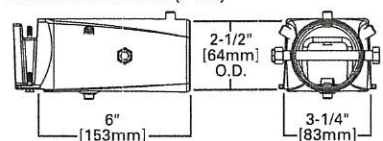
### Wall Mount (PRV)



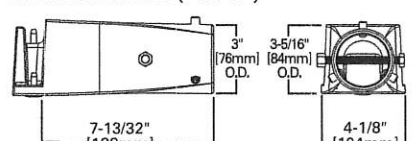
### Wall Mount (PRV-XL)



### Mast Arm Mount (PRV)



### Mast Arm Mount (PRV-XL)



## Mounting Configurations and EPAs

NOTE: For 2 PRV's mounted at 90°, requires minimum 3" square or 4" round pole for fixture clearance. For 2 PRV-XL's mounted at 90°, requires minimum 4" square or round pole for fixture clearance. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for applications.

### Wall Mount

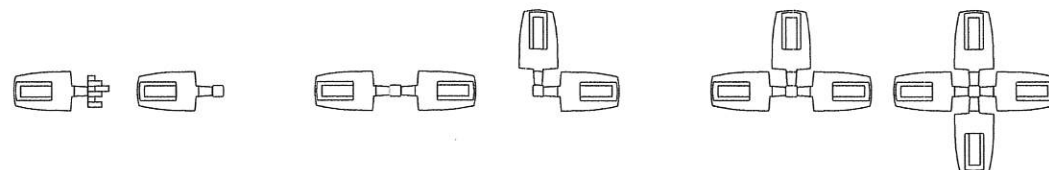
Arm Mount Single  
EPA 0.92 (PRV)  
EPA 1.12 (PRV-XL)

Arm Mount 2 @ 180°  
EPA 1.35 (PRV)  
EPA 2.25 (PRV-XL)

Arm Mount 2 @ 90°  
EPA 1.42 (PRV)  
EPA 2.13 (PRV-XL)

Arm Mount 3 @ 90°  
EPA 1.63 (PRV)  
EPA 2.52 (PRV-XL)

Arm Mount 4 @ 90°  
EPA 1.63 (PRV)  
EPA 2.52 (PRV-XL)



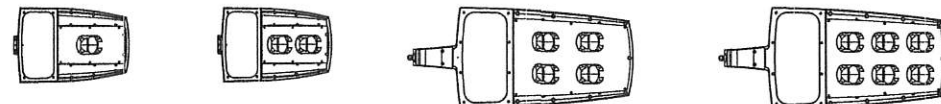
## Optical Configurations

PRV-C15  
(7,100 Nominal Lumens)

PRV-C25/C40/C60  
(13,100/17,100/20,000  
Nominal Lumens)

PRV-XL-C75/C100/C125  
(26,100/31,000/36,300 Nominal Lumens)

PRV-XL-C150/C175  
(41,100/48,600 Nominal Lumens)



## Product Specifications

### Construction

- Single-piece die-cast aluminum housing
- Tethered die-cast aluminum door

### Optics

- Dark Sky Approved (3000K CCT and warmer only)
- Precision molded polycarbonate optics

### Electrical

- 40°C minimum operating temperature
- 40°C maximum operating temperature
- >.9 power factor
- <20% total harmonic distortion

- Class 1 electronic drivers have expected life of 100,000 hours with <1% failure rate
- 0-10V dimming driver is standard with leads external to the fixture

### Mounting

- Versatile, patented, standard mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8"
- A knock-out on the standard mounting arm enables round pole mounting
- Prevail: 3G vibration rated
- Prevail XL Mast Arm: 3G vibration rated
- Prevail XL Standard Arm: 1.5G vibration rated

### Finish

- Five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness

### Shipping Data

- Prevail: 20 lbs. (9.09 kgs.)
- Prevail XL: 45 lbs. (20.41 kgs.)

## Energy and Performance Data

### Power and Lumens (PRV)

 [View PRV IES files](#)

Light Engine		C15	C25	C40	C60
Power (Watts)		52	96	131	153
Input Current @ 120V (A)		0.43	0.80	1.09	1.32
Input Current @ 277V (A)		0.19	0.35	0.48	0.57
Input Current @ 347V (A)		0.17	0.30	0.41	0.48
Input Current @ 480V (A)		0.12	0.22	0.30	0.35
Distribution					
Type II	4000K Lumens	7,123	13,205	17,172	20,083
	BUG Rating	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3
	3000K Lumens	6,994	12,965	16,860	19,718
Type III	4000K Lumens	7,111	13,183	17,144	20,050
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4
	3000K Lumens	6,982	12,944	16,832	19,686
Type IV	4000K Lumens	7,088	13,140	17,087	19,984
	BUG Rating	B1-U0-G3	B2-U0-G4	B2-U0-G4	B3-U0-G5
	3000K Lumens	6,959	12,901	16,777	19,621
Type V	4000K Lumens	7,576	14,045	18,264	21,360
	BUG Rating	B3-U0-G3	B4-U0-G3	B4-U0-G4	B5-U0-G4
	3000K Lumens	7,438	13,790	17,932	20,972

### Lumen Maintenance

Configuration	TM-21 Lumen Maintenance (50,000 Hours)	Theoretical L70 (Hours)
Up to PRV-C60 at 25°C	91.30%	194,000
Up to PRV-C60 at 40°C	87.59%	134,000
Up to PRV-XL-C175 at 25°C	91.40%	204,000
Up to PRV-XL-C175 at 40°C	89.41%	158,000

### Lumen Multiplier

Ambient Temperature	Lumen Multiplier
10°C	1.02
15°C	1.01
25°C	1.00
40°C	0.99

### Power and Lumens (PRV-XL)

 [View PRV-XL IES files](#)

Light Engine		C75	C100	C125	C150	C175
Power (Watts)		176	217	264	285	346
Input Current @ 120V (A)		1.50	1.84	2.21	2.38	2.92
Input Current @ 277V (A)		0.66	0.82	0.97	1.04	1.25
Input Current @ 347V (A)		0.54	0.66	0.79	0.84	1.02
Input Current @ 480V (A)		0.40	0.48	0.57	0.62	0.74
Distribution						
Type II	4000K Lumens	26,263	31,231	36,503	41,349	48,876
	BUG Rating	B3-U0-G3	B3-U0-G4	B4-U0-G4	B4-U0-G4	B4-U0-G5
	3000K Lumens	25,786	30,664	35,840	40,598	47,989
Type III	4000K Lumens	26,120	31,061	36,304	41,124	48,610
	BUG Rating	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
	3000K Lumens	25,646	30,497	35,645	40,377	47,727
Type IV	4000K Lumens	26,098	31,035	36,274	41,089	48,569
	BUG Rating	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5
	3000K Lumens	25,624	30,471	35,615	40,343	47,687
Type V	4000K Lumens	28,129	33,450	39,097	44,287	52,349
	BUG Rating	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5
	3000K Lumens	27,618	32,843	38,387	43,483	51,398



## Control Options

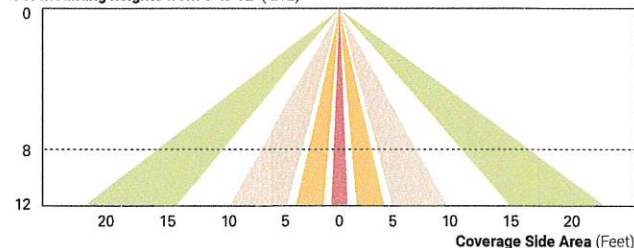
**0-10V (D)** The dimming option provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

**Photocontrol (PER and PER7)** Photocontrol receptacles provide a flexible solution to enable "dusk-to-dawn" lighting by sensing light levels. Advanced control systems compatible with NEMA 7-pin standards can be utilized with the PER7 receptacle.

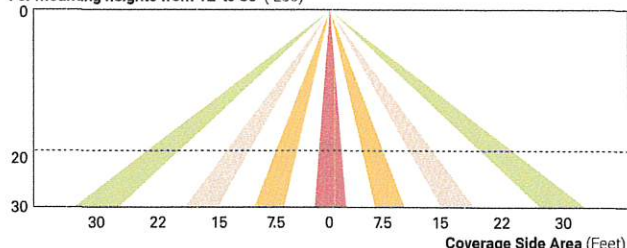
**Dimming Occupancy Sensor (MSP and MS)** These sensors are factory installed in the luminaire housing. When a sensor for dimming operation (/DIM) option is selected, the luminaire will dim down to approximately 50 percent power after five minutes of no activity detected. When activity is detected, the luminaire returns to full light output. When a sensor for ON/OFF operation is selected, the luminaire will turn off after five minutes of no activity.

These occupancy sensors include an integral photocell that can be activated or inactivated with the programming remote / configuration tool for "dusk-to-dawn" control or "daylight harvesting". **Note:** For MSP sensors, the factory preset is ON (Enabled), and for MS sensors, the factory preset is OFF (Disabled). The programming remote / tool is a wireless tool that can be utilized to change the dimming level, time delay, sensitivity and other parameters. A variety of sensor lenses are available to optimize the coverage pattern for mounting heights from 8'-40'.

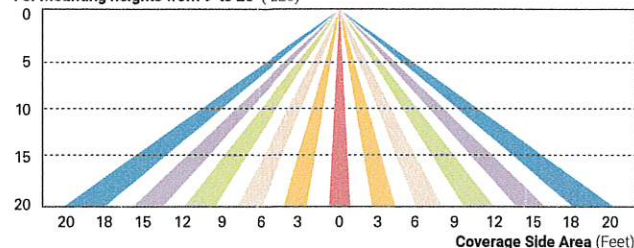
For mounting heights from 8' to 12' (-L12)



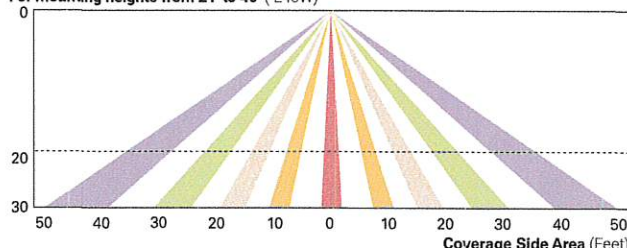
For mounting heights from 12' to 30' (-L30)



For mounting heights from 9' to 20' (-L20)



For mounting heights from 21' to 40' (-L40W)

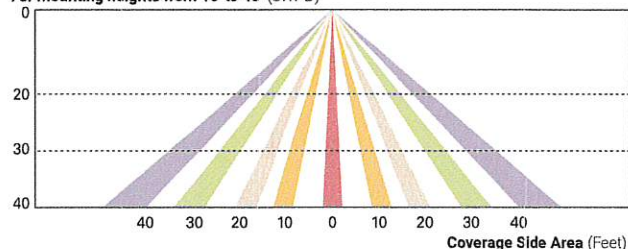


**WaveLinx Wireless Control and Monitoring System** Available in 7-PIN or 4-PIN configurations, the WaveLinx Outdoor control platform operates on a wireless mesh network based on IEEE 802.15.4 standards enabling wireless control of outdoor lighting. Use the WaveLinx Mobile application for set-up and configuration. At least one Wireless Area Controller (WAC) is required for full functionality and remote communication (including adjustment of any factory pre-sets).

**WaveLinx Outdoor Control Module (WOLC-7P-10A)** A photocontrol that enables astronomic or time-based schedules to provide ON, OFF and dimming control of fixtures utilizing a 7-PIN receptacle. The out-of-box functionality is ON at dusk and OFF at dawn.

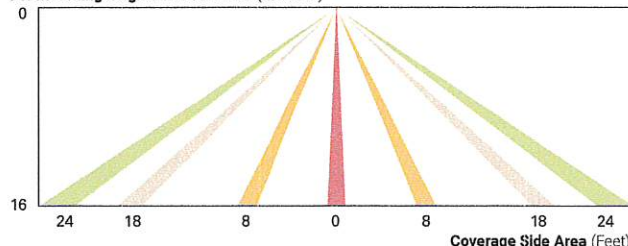
**WaveLinx Wireless Sensor (SWPD4 and SWPD5)** These outdoor sensors offer passive infrared (PIR) occupancy and a photocell for closed loop daylight sensing. These sensors can be factory installed or field-installed via simple, tool-less integration into luminaires equipped with the Zhaga Book 18 compliant 4-PIN receptacle (ZW). These sensors are factory preset to dim down to approximately 50 percent power after 15 minutes of no activity detected. These occupancy sensors include an integral photocell for "dusk-to-dawn" control or daylight harvesting that is factory-enabled. A variety of sensor lenses are available to optimize the coverage pattern for mounting heights from 7'-40'.

For mounting heights from 16' to 40' (SWPD)

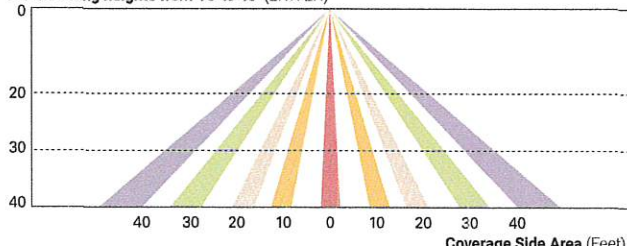


**LumaWatt Pro Wireless Control and Monitoring System (LWR-LW and LWR-LN)** The Eaton's LumaWatt Pro powered by Enlighted is a connected lighting solution that combines LED luminaires with an integrated wireless sensor system. The sensor controls the lighting system in compliance with the latest energy codes and collects valuable data about building performance and use. Software applications turn the granular data into information through energy dashboards and specialized apps that make it simple and help optimize the use of other resources beyond lighting.

For mounting heights from 8' to 16' (LWR-LW)



For mounting heights from 16' to 40' (LWR-LN)



**LumenSafe (LD)** The LumenSafe integrated network camera is a streamlined, outdoor-ready camera that provides high definition video surveillance. This IP camera solution is optimally designed to integrate into virtually any video management system or security software platform of choice. No additional wiring is needed beyond providing line power to the luminaire. LumenSafe features factory-installed power and networking gear in a variety of networking options allowing security integrators to design the optimal solution for active surveillance.



NOTES

1. ALUMINUM ANGLE FRAME CONSTRUCTION
2. .08" ALUMINUM SKIN
3. ALUMINUM RETAINER ACCENT
4. GE TETRA MAX 7100K WHITE LED'S, AS REQUIRED (OR GE REPLACEMENT EQUIVALENT)
5. INTERNAL POWER SUPPLY, AS REQUIRED
6. INTERNAL DISCONNECT SWITCH
7. SUPPORT TUBE
8. ALUMINUM C-CHANNEL REVEAL
9. FACES TO BE FLAT CLEAR SOLAR GRADE POLYCARBONATE
10. "DUNKIN'" LETTERS TO BE EMBOSSED
11. REGISTERED "R" AND "DRIVE THRU" TO BE FLAT GRAPHIC
12. BACKGROUND COLOR 403 WHITE BACK-SPRAY
- 12A. OPTION : SIGN FACE 2ND SURFACE WHITE FACE / NIGHT FACE BACKGROUND COLOR 403 WHITE BACK-SPRAY, BACKED UP WITH OPAQUE SILVER FOR COMPLETE OPAQUE FINISH FOR NIGHT
13. 3M #3630-3123 DUNKIN' ORANGE TRANSLUCENT FILM 2ND SURFACE
14. 3M #3630-1379 DUNKIN' PINK TRANSLUCENT FILM 2ND SURFACE
15. 3M #3635-70 WHITE DIFFUSER 2ND SURFACE

ADDITIONAL NOTES:

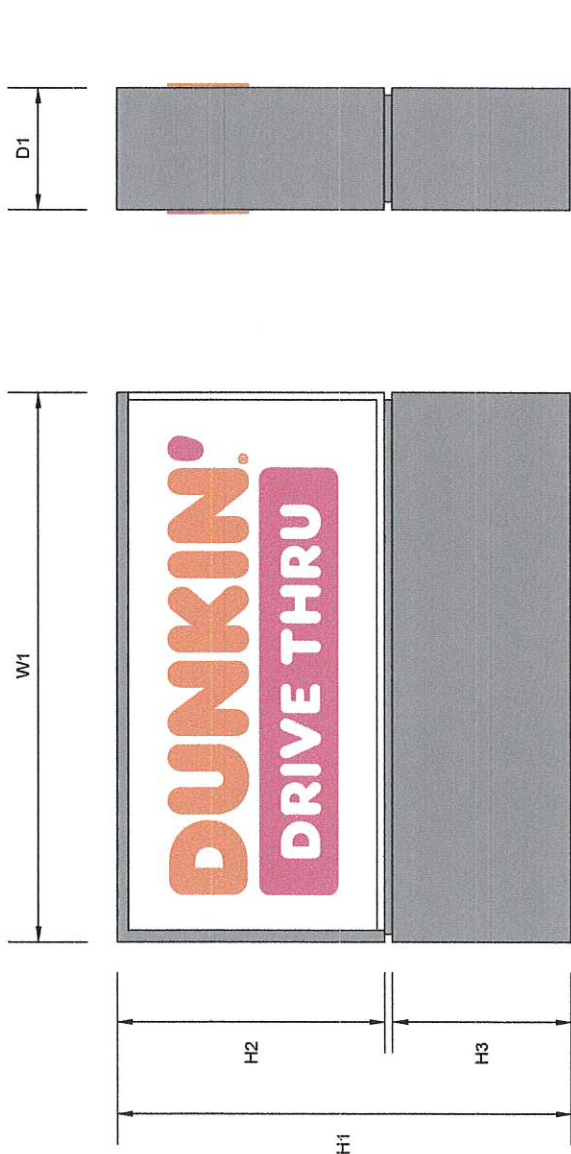
ARTWORK FONT : DUNKIN SANS DISPLAY  
 EXTERIOR FINISH : PAINT PANTONE 7540C  
 INTERIOR FINISH : PAINTED REFLECTIVE WHITE  
 ACCENT FINISH / 1 1/2" CABINET W/ RETAINER : PAINT PANTONE 7540C  
 REVEAL AND POLE COVER FINISH : PAINT PANTONE 7540C  
 SKINS REMOVABLE FOR SERVICE ACCESS  
 SADDLE MOUNT INSTALLATION  
 ELECTRICAL : (1) 20-AMP / 120 VOLT CIRCUIT  
 PERIMETER ANGLE : 1 1/2" x 1 1/2" x 3/16" | U.L. LISTED

SIZE	H1	H2	H3	W1	D1	S.F. (BOX)
SMALL	60"	35.5"	23.5"	72"	16"	17.75'
MEDIUM	72"	42.5"	28.25"	86.5"	16"	25.56'
LARGE	90"	53.25"	35.25"	108"	16"	39.94'
CUSTOM	-	-	-	-	-	-

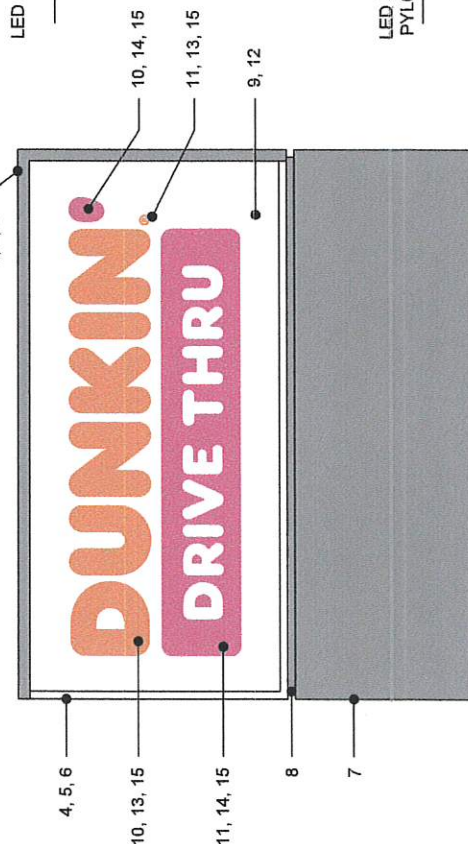
PMS	VINYL / PAINT
PMS 165 - DUNKIN' ORANGE	3M #3630-3123
PMS 219 - DUNKIN' PINK	3M #3630-1379
PMS 7540C - DUNKIN' GRAY	3M #7725-41
PMS COOL GRAY 1C	3M #7725-11

DATE: 01.29.2020 REV. #03  
 DUNKIN' BRANDS INC.  
 CONSTRUCTION SERVICES

DD-SS-PS-02



LED ILLUMINATED HORIZONTAL PYLON SIGN (SIDE C)  
 SCALE : N.T.S.



LED ILLUMINATED HORIZONTAL PYLON SIGN (SIDE A & SIDE B)  
 SCALE : N.T.S.

DD BUILDING & SITE SIGNAGE

MONUMENT SIGN

THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO VARIATIONS IN PRINTING DEVICES AND SUBSTRATES THE FINISHED PRODUCT MAY DIFFER SLIGHTLY FROM DRAWINGS.

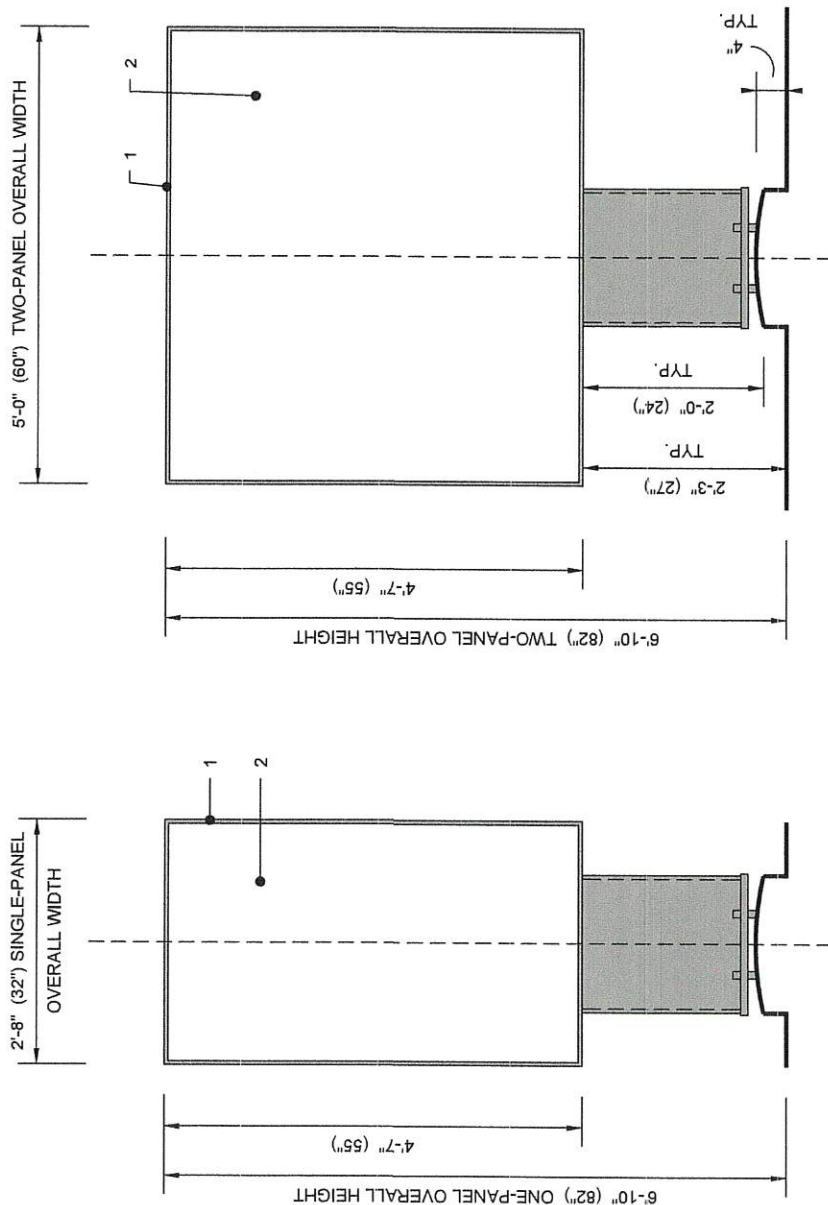


NOTES

1. MENUBOARD IS POWDER COATED TO MATCH PMS 7540C (CABINET, BASE CLADDING, DOOR FRAMES & EXTENDER FRAMES)
2. SAMSUNG OHF SERIES DISPLAY MENUBOARDS, OH59F - 55"

ADDITIONAL NOTES:

ARTWORK FONT : DUNKIN SANS DISPLAY

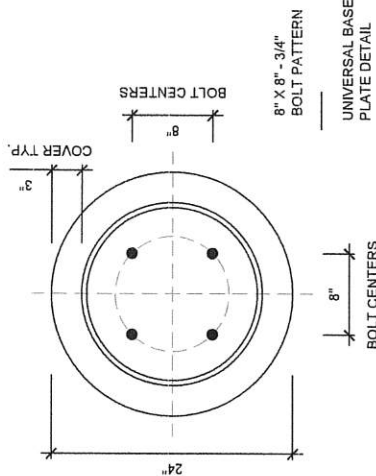


FRONT VIEW (SINGLE PANEL)

SCALE : 3/4" = 1'-0"

FRONT VIEW (TWO & THREE PANEL)

SCALE : 3/4" = 1'-0"



PMS VINYL / PAINT

PMS 165 - DUNKIN' ORANGE	3M #3630-3123
PMS 219 - DUNKIN' PINK	3M #3630-1379
PMS 7540C - DUNKIN' GRAY	3M #7725-41
PMS COOL GRAY 1C	3M #7725-11



THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO VARIATIONS IN PRINTING DEVICES AND SUBSTRATES THE FINISHED PRODUCT MAY DIFFER SLIGHTLY FROM DRAWINGS.

DD BUILDING & SITE SIGNAGE  
MULTIPLE PANEL DIGITAL MENU BOARDS

DATE: 01.29.2020  
REV. #03  
DUNKIN' BRANDS INC.  
CONSTRUCTION SERVICES

DD-SS-DT-07

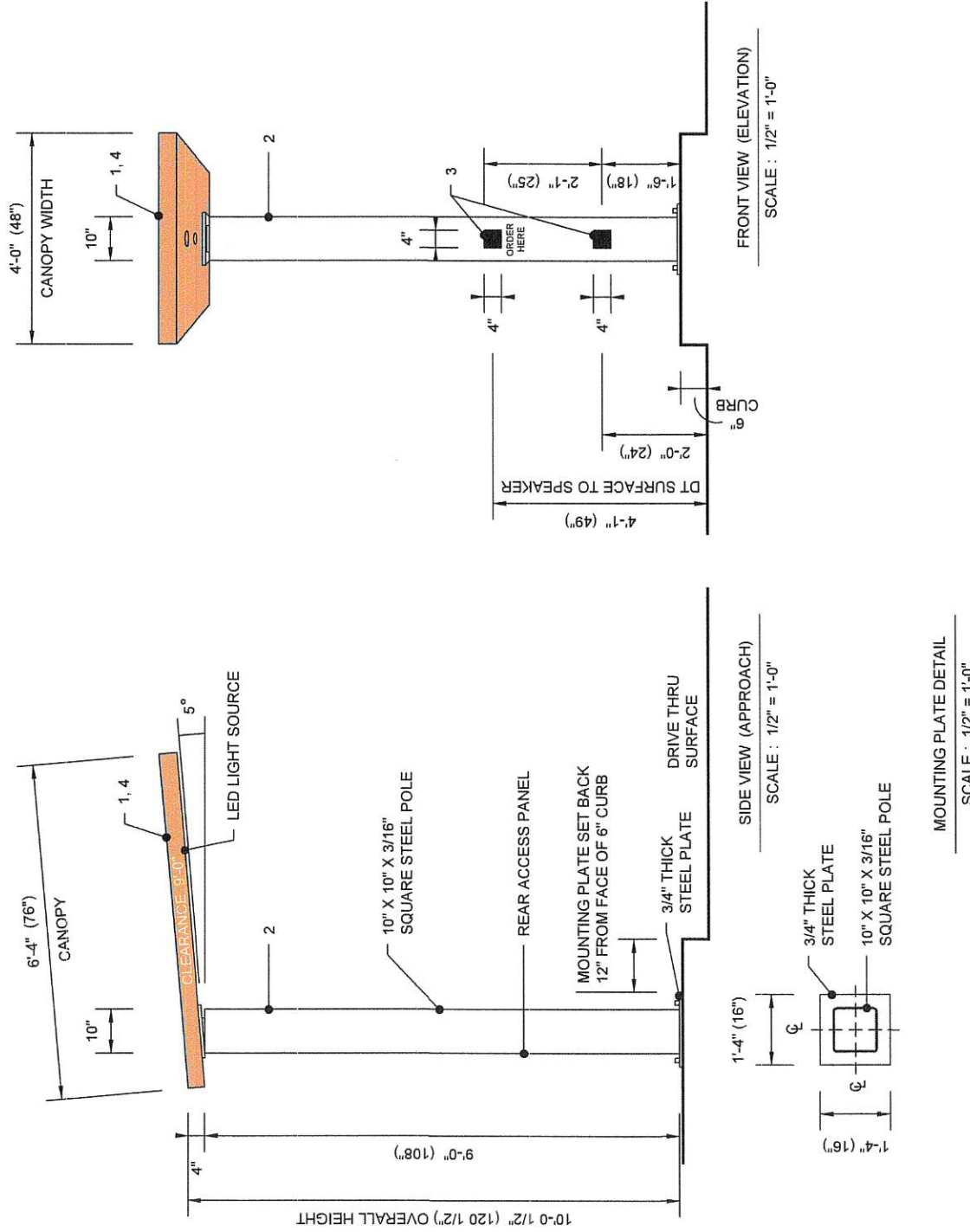


# NOTES

1. PAINT TO MATCH ORANGE PMS 165 C, GLOSS FINISH
2. PAINT TO MATCH PMS COOL GRAY 1 C, GLOSS FINISH
3. BLACK VINYL, ARLON 2100-03, MIC BY OTHERS.
4. BREAKAWAY SWIVEL TOP

## ADDITIONAL NOTES:

ARTWORK FONT : DUNKIN SANS DISPLAY  
120 VOLT CIRCUIT, TO BE CONFIRMED BY SITE  
CLEARANCE TO BE CONFIRMED BY SITE  
TOP HAS TWO DOWN LIGHTS



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brands

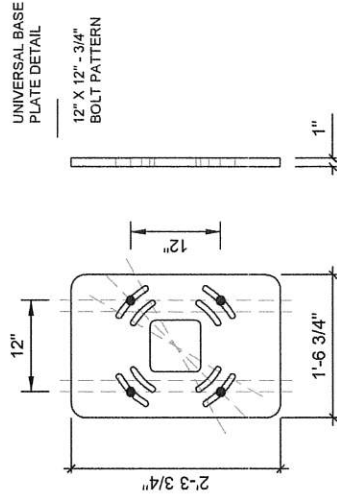
THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO VARIATIONS IN PRINTING DEVICES AND SUBSTRATES THE FINISHED PRODUCT MAY DIFFER SLIGHTLY FROM DRAWINGS.

**DD BUILDING & SITE SIGNAGE**  
**ILLUMINATED DRIVE THRU CANOPY SIGN**

DATE: 01.29.2020  
REV. #03  
DUNKIN BRANDS INC.  
CONSTRUCTION SERVICES

**DD-SS-DT-01**

PMS	VINYL / PAINT
PMS 165 - DUNKIN' ORANGE	3M #3630-3123
PMS 210 - DUNKIN' PINK	3M #3630-1379
PMS 7540C - DUNKIN' GRAY	3M #7725-41
PMS COOL GRAY 1C	3M #7725-11

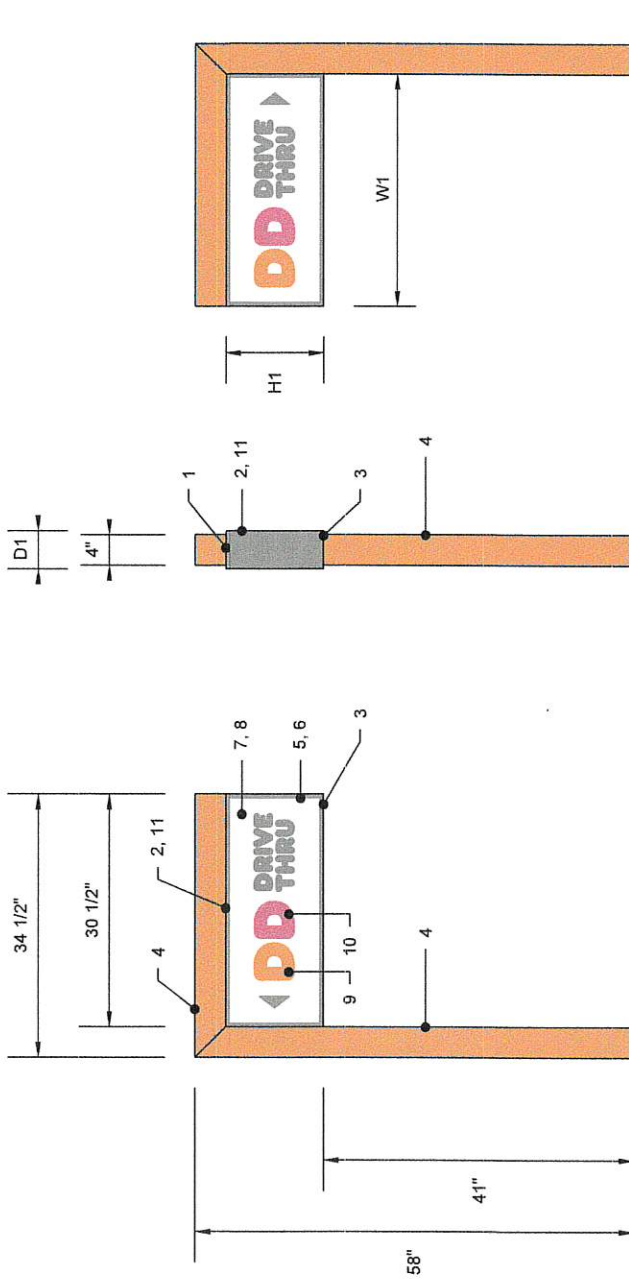


NOTES

- 5" x 1" x .063" ALUMINUM SPACE FRAME
- 1" ALUMINUM RETAINER
- 1" x 1" x 1/8" ALUMINUM ANGLE
- 4" x 4" x .075" SQUARE TUBE SUPPORT PAINTED ORANGE PMS 165 C
- GE TETRA MAX 7100K WHITE LED'S, AS REQUIRED  
(OR GE REPLACEMENT EQUIVALENT)
- LED POWER SUPPLIES, AS REQUIRED
- .118 CLEAR SOLAR GRADE POLYCARBONATE FACE 2ND SURFACE
- BACKGROUND COLOR TO BE 403 WHITE BACK-SPRAY
- 3M #3630-3123 DUNKIN' ORANGE TRANSLUCENT FILM 2ND SURFACE
- 3M #3630-1379 DUNKIN' PINK TRANSLUCENT FILM 2ND SURFACE
- 3M #7725-41 DUNKIN' GRAY TRANSLUCENT FILM 2ND SURFACE

ADDITIONAL NOTES:

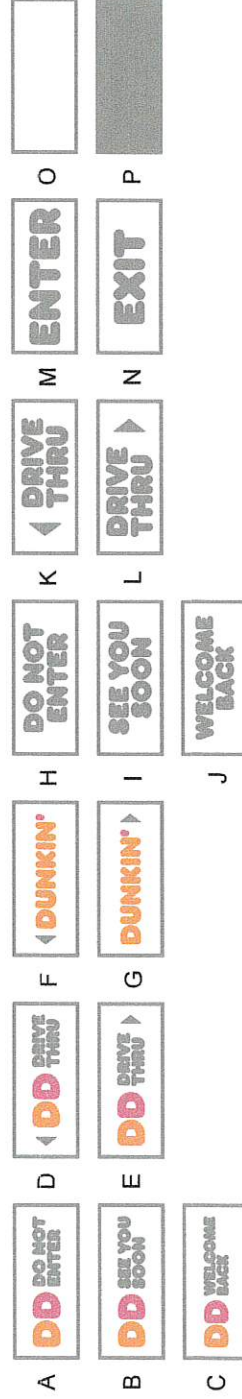
ARTWORK FONT : DUNKIN SANS DISPLAY  
 EXTERIOR FINISH : PAINT PANTONE 7540C  
 INTERIOR FINISH : PAINTED REFLECTIVE WHITE  
 RETAINERS / FACE REMOVABLE FOR SERVICE ACCESS  
 DIRECT BURY INSTALLATION PER CODE  
 (1) 20 AMP / 120 VOLT CIRCUIT  
 U.L. LISTED



LED ILLUMINATED  
DIRECTIONAL SIGN (SIDE A)  
SCALE : N.T.S.

LED ILLUMINATED  
DIRECTIONAL SIGN (SIDE C)  
SCALE : N.T.S.

LED ILLUMINATED  
DIRECTIONAL SIGN (SIDE B)  
SCALE : N.T.S.



SIZE	H1	W1	D1	S.F. (BOX)
ALL	13"	30.5"	5"	2.75'
CUSTOM	-	-	-	-

PMS	VINYL / PAINT
PMS 165 - DUNKIN' ORANGE	3M #3630-3123
PMS 219 - DUNKIN' PINK	3M #3630-1379
PMS 7540C - DUNKIN' GRAY	3M #7725-41
PMS COOL GRAY 1C	3M #7725-11

DATE: 01.29.2020	REV. #03
DUNKIN' BRANDS INC. CONSTRUCTION SERVICES	

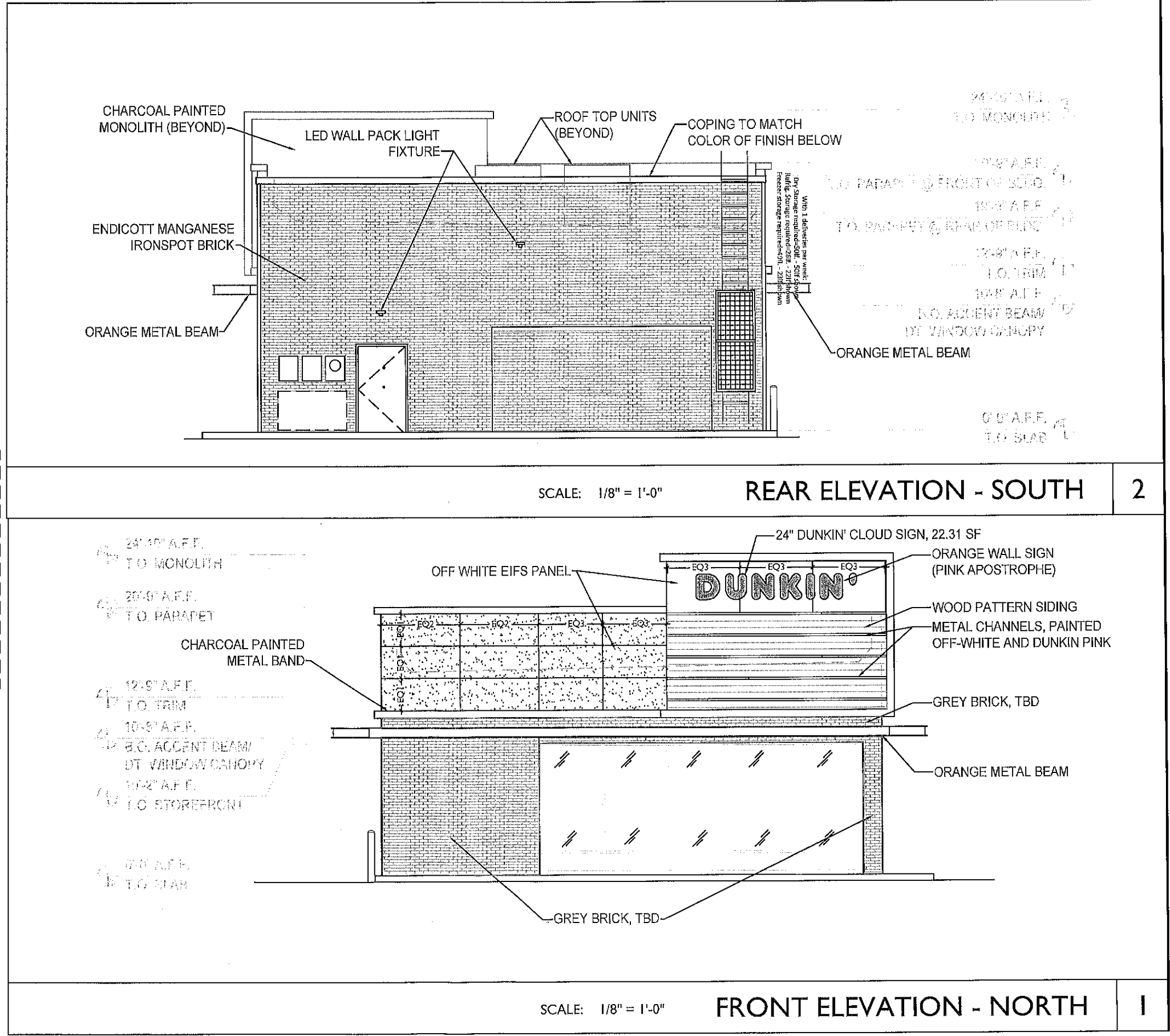
DD BUILDING & SITE SIGNAGE  
DIRECTIONAL SIGNS

THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO VARIATIONS IN PRINTING DEVICES AND SUBSTRATES THE FINISHED PRODUCT MAY DIFFER SLIGHTLY FROM DRAWINGS.



DD-SS-DS-01

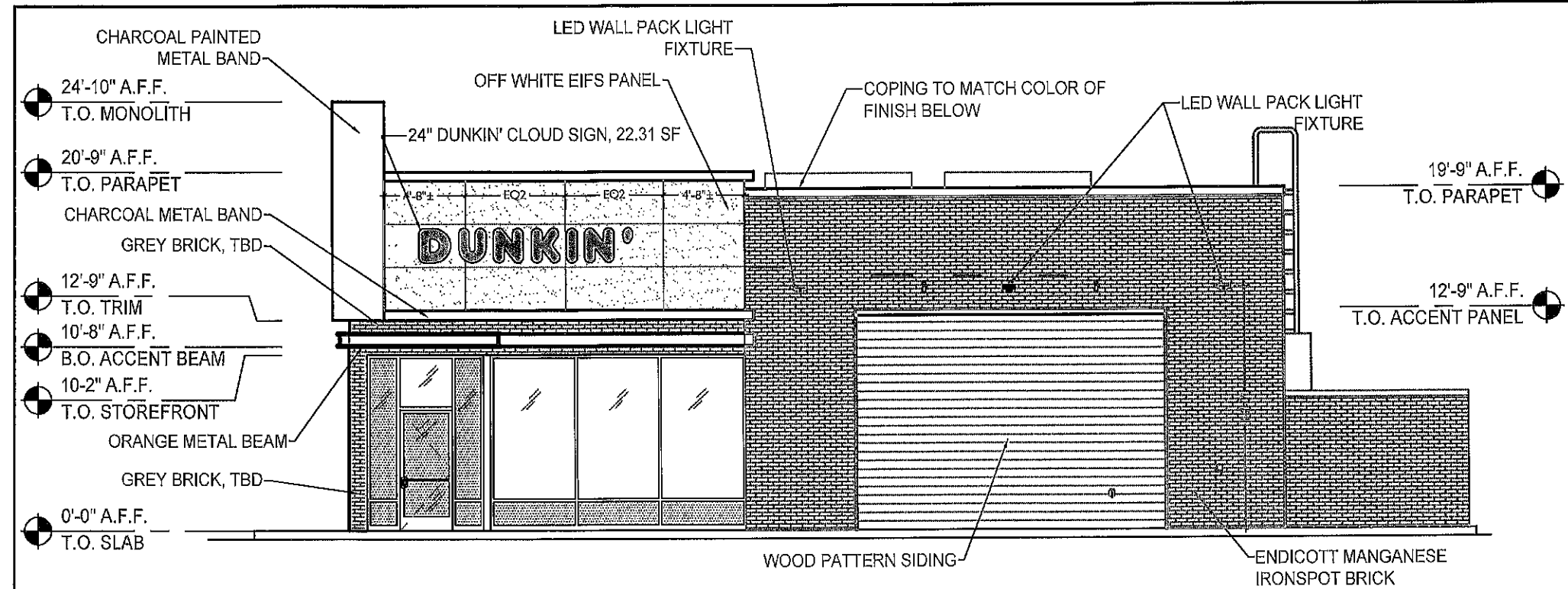
BRICK CALCULATIONS (50%)	
FRONT (NORTH) ELEVATION: 780 SF (TOTAL)-255 SF (DOORS&WINDOWS)=525 SF x .5=263 SF REQUIRED 218SF SHOWN   82% OF BRICK REQUIREMENT SATISFIED	
D/T SIDE (EAST) ELEVATION: 1045 SF (TOTAL)-48 SF (D/T WINDOWS)=997 SF x .5=498.5 SF REQUIRED 580SF SHOWN   112% OF BRICK REQUIREMENT SATISFIED	
SIDE (WEST) ELEVATION: 1045 SF (TOTAL)-224 SF (DOORS&WINDOWS)=821 SF x .5=410 SF REQUIRED 602SF SHOWN   147% OF REQUIREMENT	
REAR (SOUTH) ELEVATION: 752 SF (TOTAL)-27 SF (DOORS)=725 SF x .5=363 SF REQUIRED 752SF SHOWN   207% OF REQUIREMENT	
TOTAL BUILDING ANALYSIS= 2132SF SHOWN / 1535SF REQUIRED =1.38=138%	
BUILDING MOUNTED SIGNAGE CALCULATION= 4% OF TOTAL SF FACING PRIMARY OR SECONDARY STREETS, OR 24SF, WHICHEVER IS GREATER:	
FRONT (NORTH) ELEVATION: 786 SF X .04 = 31.44SF ALLOWED	
D/T SIDE (EAST) ELEVATION: 1,070 SF X .04 = 42.8SF ALLOWED	
TOTAL WALL SIGNAGE ALLOWED = 73.0SF	
CORNER LOT ALLOWS REDISTRIBUTION OF SIGN SF TO OTHER ELEVATIONS AS LONG AS NOT OVER 4% OF THAT ELEVATIONS SF.	
PROPOSED WALL SIGNAGE AREAS:	
FRONT (NORTH)-24" HORIZONTAL 'DUNKIN' CLOUD SIGN:	22.31 SF
SIDE (WEST)-24" HORIZONTAL 'DUNKIN' CLOUD SIGN:	22.31 SF
SIDE (EAST)-24" HORIZONTAL 'DUNKIN' CLOUD SIGN:	22.31 SF
TOTAL PROPOSED WALL SIGNAGE:	66.93 SF





BRICK CALCULATIONS (50%)  
FRONT (NORTH) ELEVATION:  
780 SF (TOTAL)-255 SF (DOORS&WINDOWS)=525 SF x .5=263 SF REQUIRED  
218SF SHOWN | 82% OF BRICK REQUIREMENT SATISFIED  
D/T SIDE (EAST) ELEVATION:  
1045 SF (TOTAL)-48 SF (D/T WINDOWS)=997 SF x .5=498.5 SF REQUIRED  
560SF SHOWN | 112% OF BRICK REQUIREMENT SATISFIED  
SIDE (WEST) ELEVATION:  
1045 SF (TOTAL)-224 SF (DOORS&WINDOWS)=821 SF x .5=410 SF REQUIRED  
602SF SHOWN | 147% OF REQUIREMENT  
REAR (SOUTH) ELEVATION:  
752 SF (TOTAL)-27 SF (DOORS)=725 SF x .5=363 SF REQUIRED  
752SF SHOWN | 207% OF REQUIREMENT  
TOTAL BUILDING ANALYSIS= 2132SF SHOWN / 1535SF REQUIRED =1.38=138%

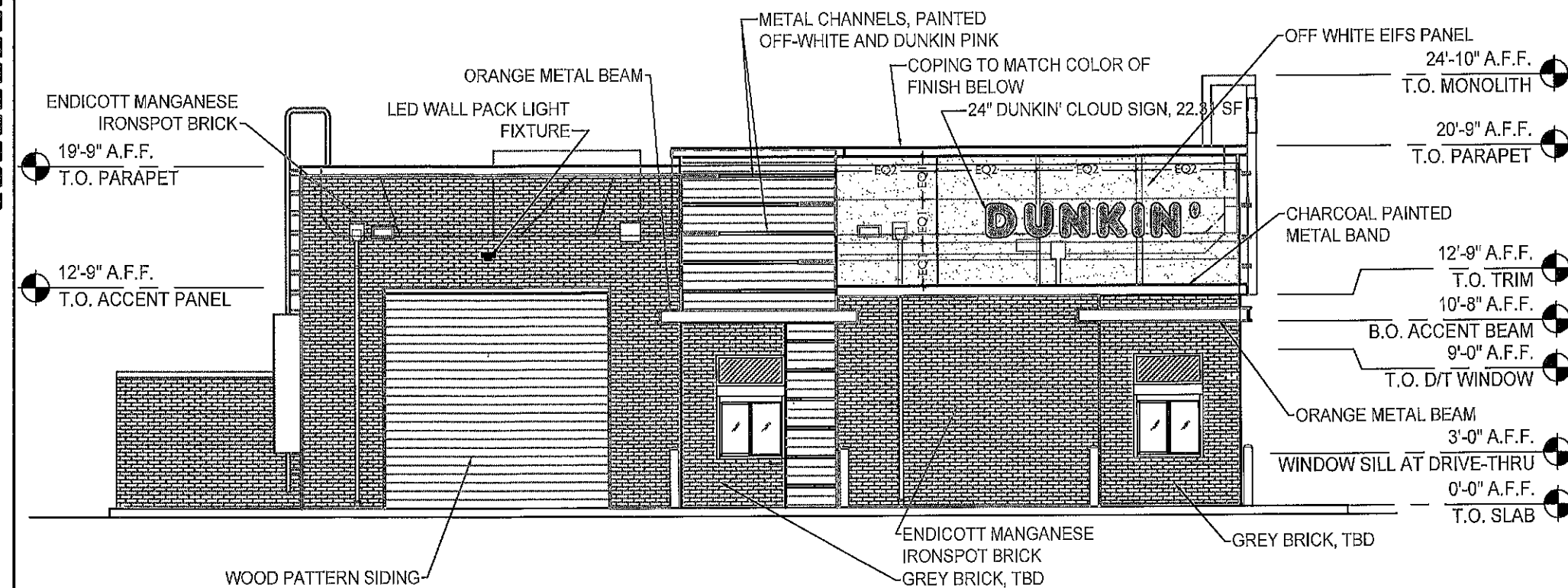
BUILDING MOUNTED SIGNAGE CALCULATION=  
4% OF TOTAL SF FACING PRIMARY OR SECONDARY STREETS,  
OR 24SF, WHICHEVER IS GREATER:  
FRONT (NORTH) ELEVATION:  
786 SF X .04 = 31.44SF ALLOWED  
D/T SIDE (EAST) ELEVATION:  
1,070 SF X .04 = 42.8SF ALLOWED  
TOTAL WALL SIGNAGE ALLOWED = 73.0SF  
CORNER LOT ALLOWS REDISTRIBUTION OF SIGN SF  
TO OTHER ELEVATIONS AS LONG AS NOT OVER 4% OF THAT ELEVATIONS SF.  
PROPOSED WALL SIGNAGE AREAS:  
FRONT (NORTH)-24" HORIZONTAL 'DUNKIN' CLOUD SIGN: 22.31 SF  
SIDE (WEST)-24" HORIZONTAL 'DUNKIN' CLOUD SIGN: 22.31 SF  
SIDE (EAST)-24" HORIZONTAL 'DUNKIN' CLOUD SIGN: 22.31 SF  
TOTAL PROPOSED WALL SIGNAGE: 66.93 SF



SCALE: 1/8" = 1'-0"

SIDE ELEVATION - WEST

2



SCALE: 1/8" = 1'-0"

SIDE ELEVATION - EAST

1

NEW BUILDING FOR GILLIGAN CO:  
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LIBERTY TWP, OH 45011

3.12.2020

A2

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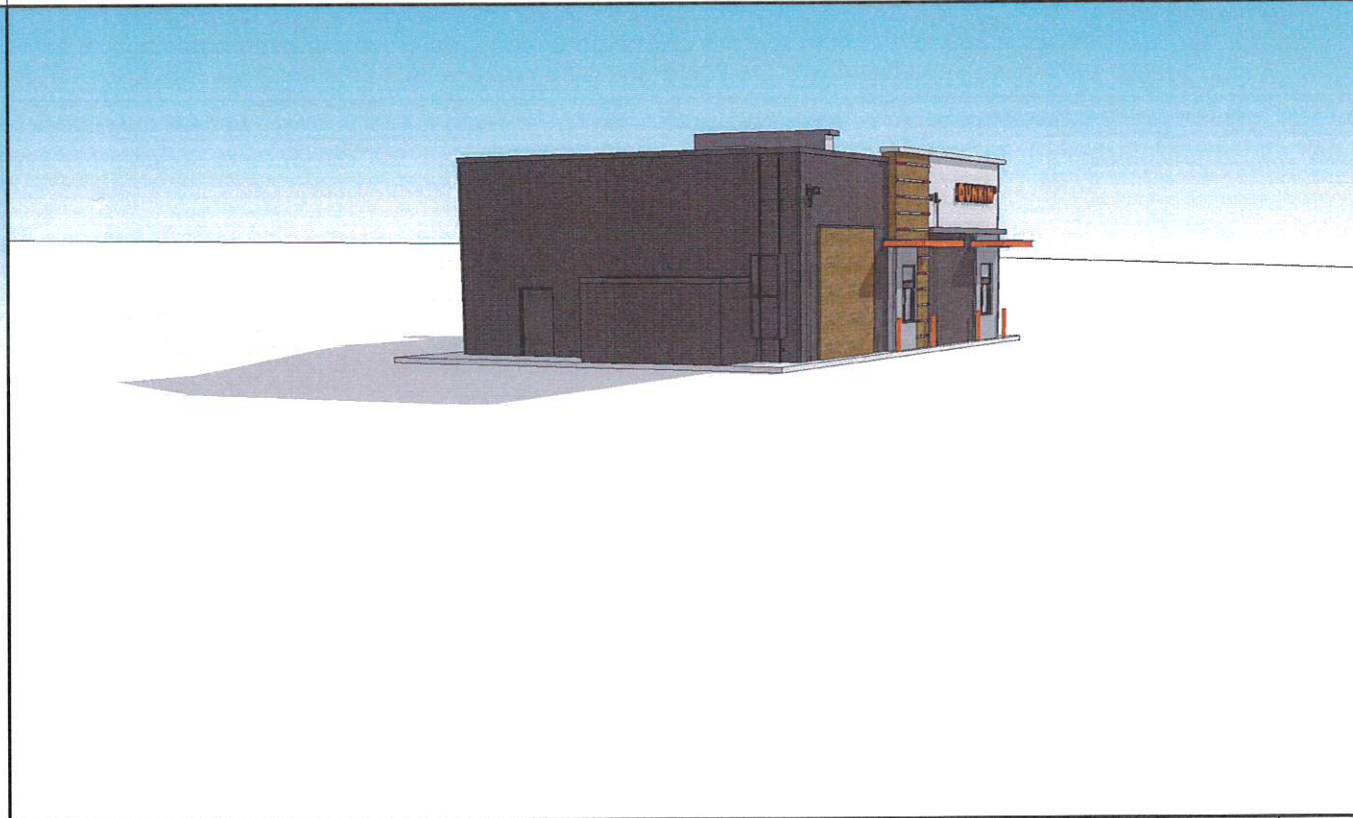
MODEL VIEW 4



MODEL VIEW 3

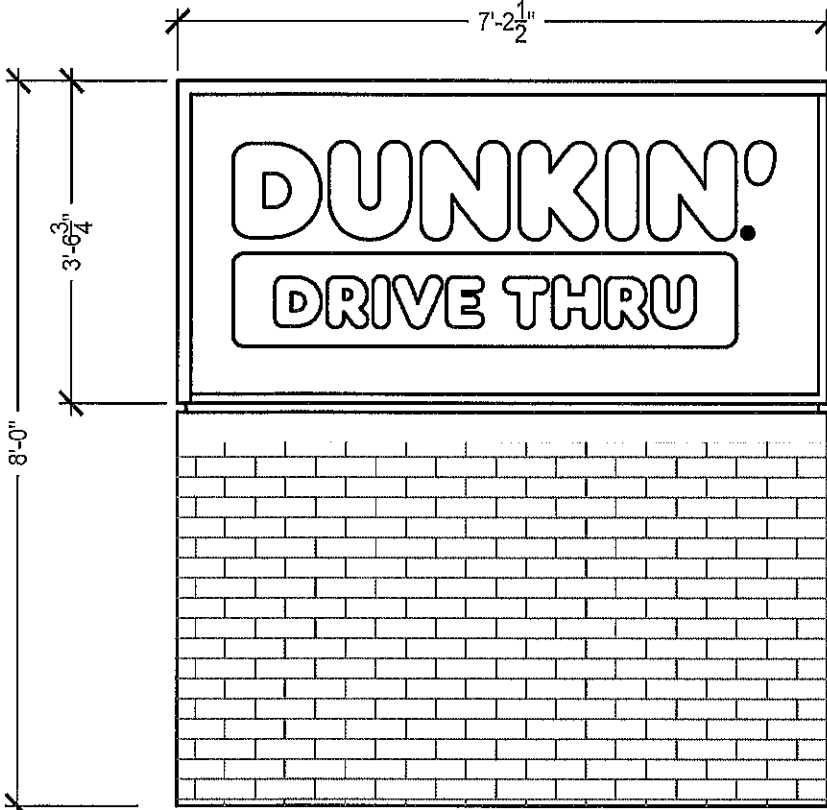

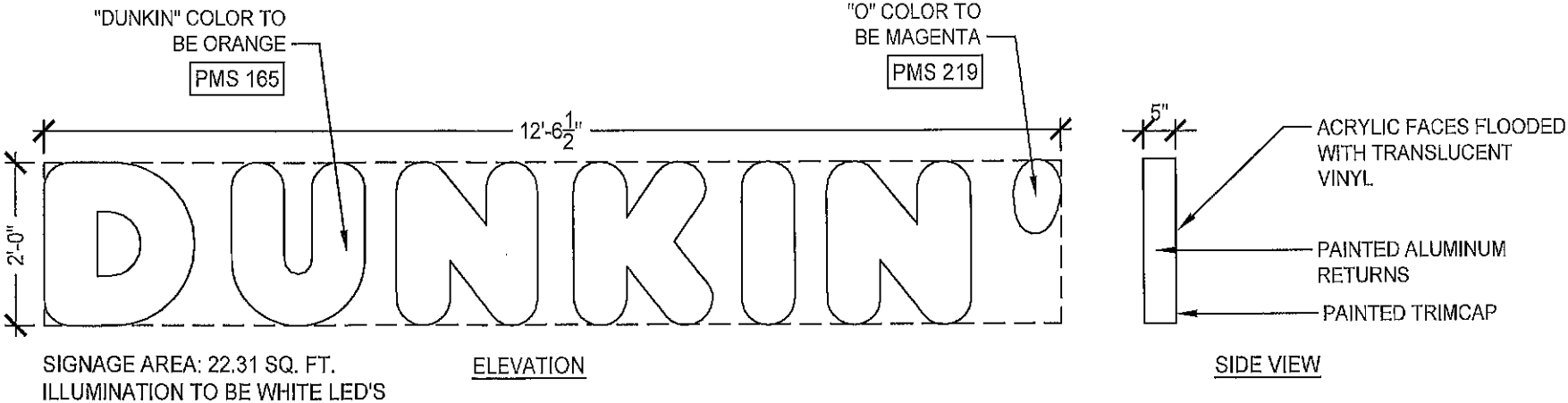


MODEL VIEW 2

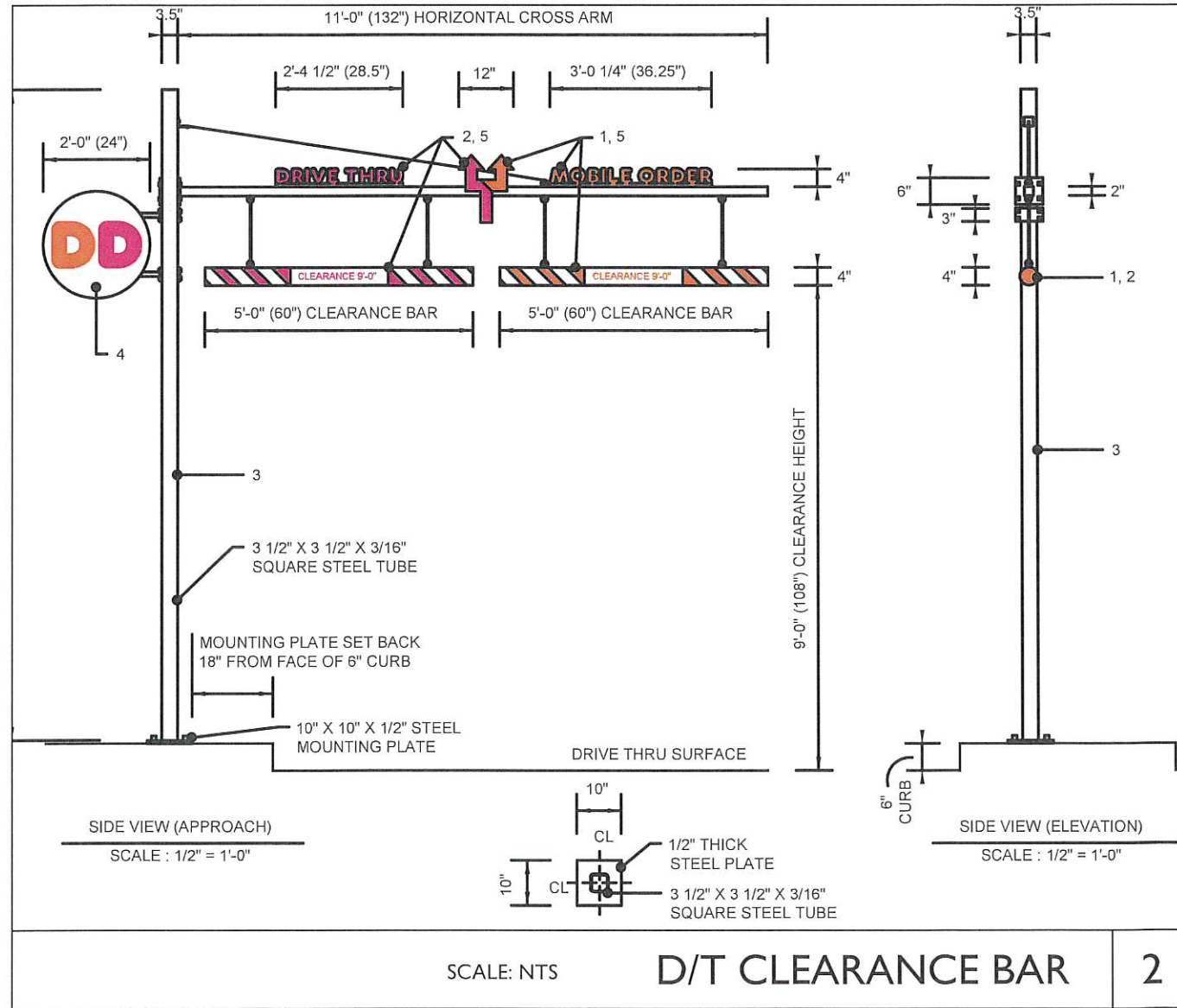


MODEL VIEW 1



 <p>DD-SS-PS-02 PYLON SIGN- MED.=25.56SF</p>		<p>SCALE: 1/2" = 1'-0"</p> <p>BUILDING SIGNAGE</p> <p>3</p>	
<p>SCALE: 1/2" = 1'-0"</p> <p>MONUMENT SIGN</p> <p>4</p>		<p>SCALE: 1/2" = 1'-0"</p> <p>BUILDING SIGNAGE</p> <p>2</p>	
 <p>DD-SS-DS-01 DIRECTIONAL SIGN 2.75SF, SIGN FACE TBD</p>		 <p>24" H " DUNKIN' " PRIMARY BLDG. SIGN (COUNT: 3)</p>	
<p>SCALE: 1/2" = 1'-0"</p> <p>DIRECTIONAL SIGNS (2)</p> <p>4</p>		<p>SCALE: 1/2" = 1'-0"</p> <p>BUILDING SIGNAGE</p> <p>1</p>	

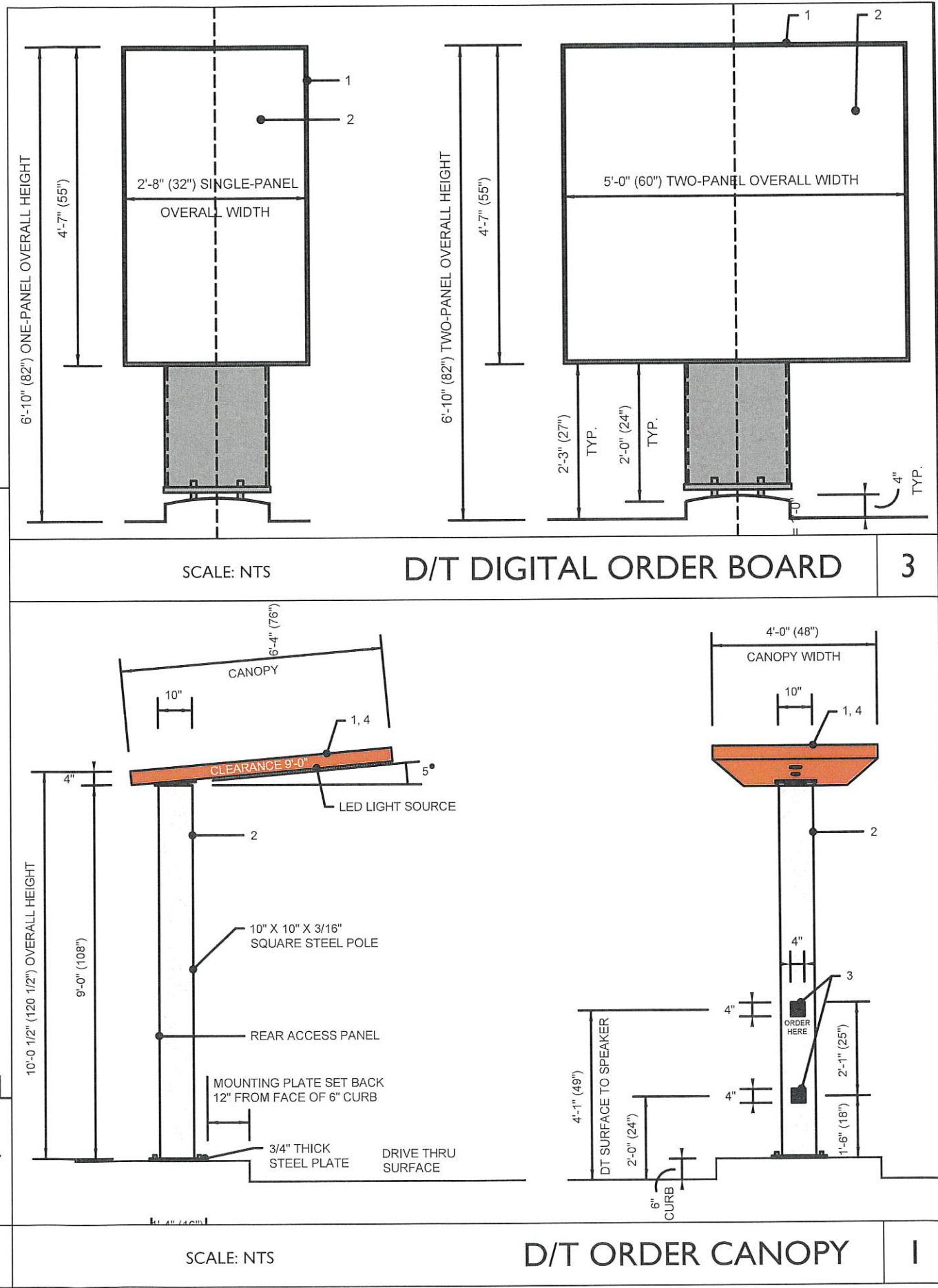




SCALE: NTS

D/T CLEARANCE BAR

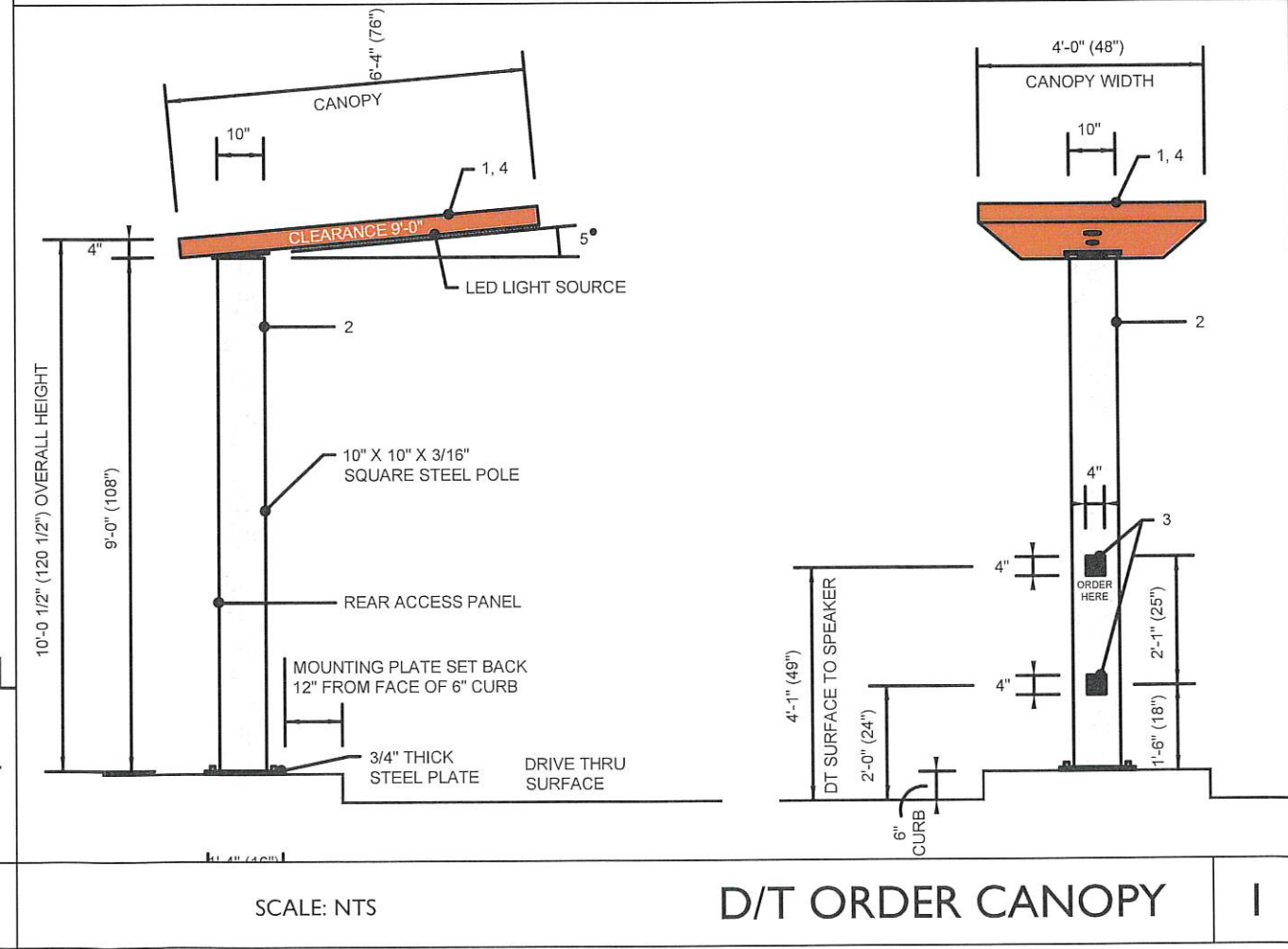
2



SCALE: NTS

D/T DIGITAL ORDER BOARD

3



SCALE: NTS

D/T ORDER CANOPY

1

NEW BUILDING FOR GILLIGAN CO.:  
 4969 PRINCETON RD.  
 LIBERTY TWP, OH 45011

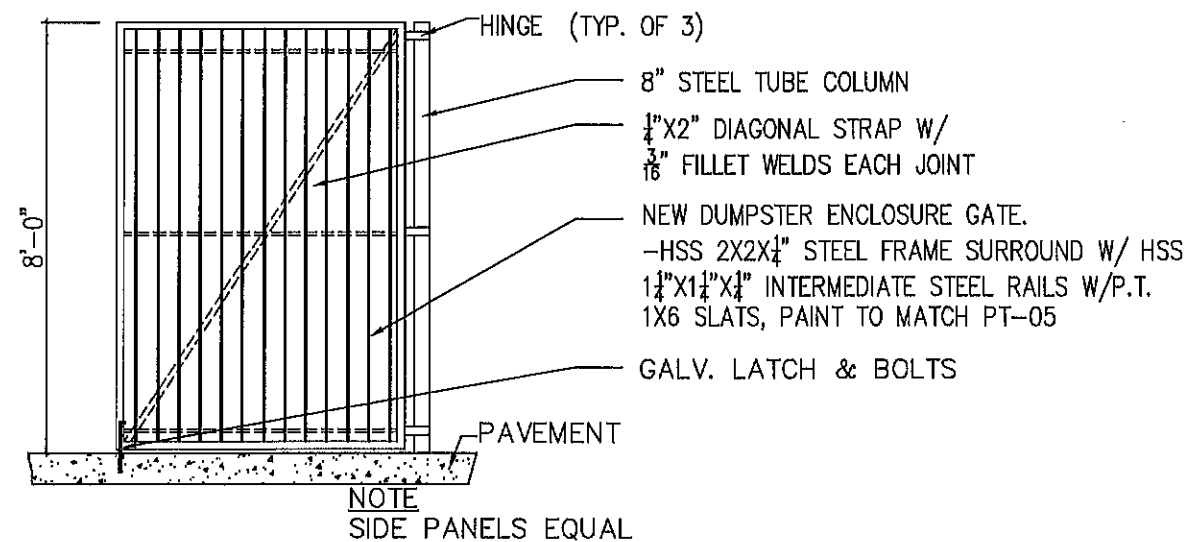
3.12.2020

A5

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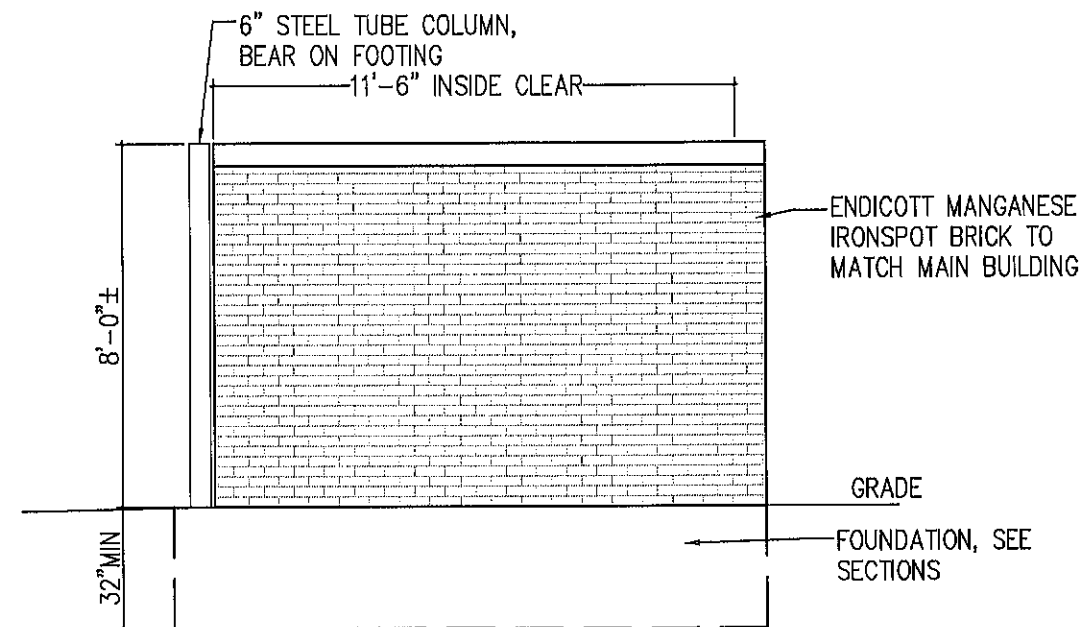
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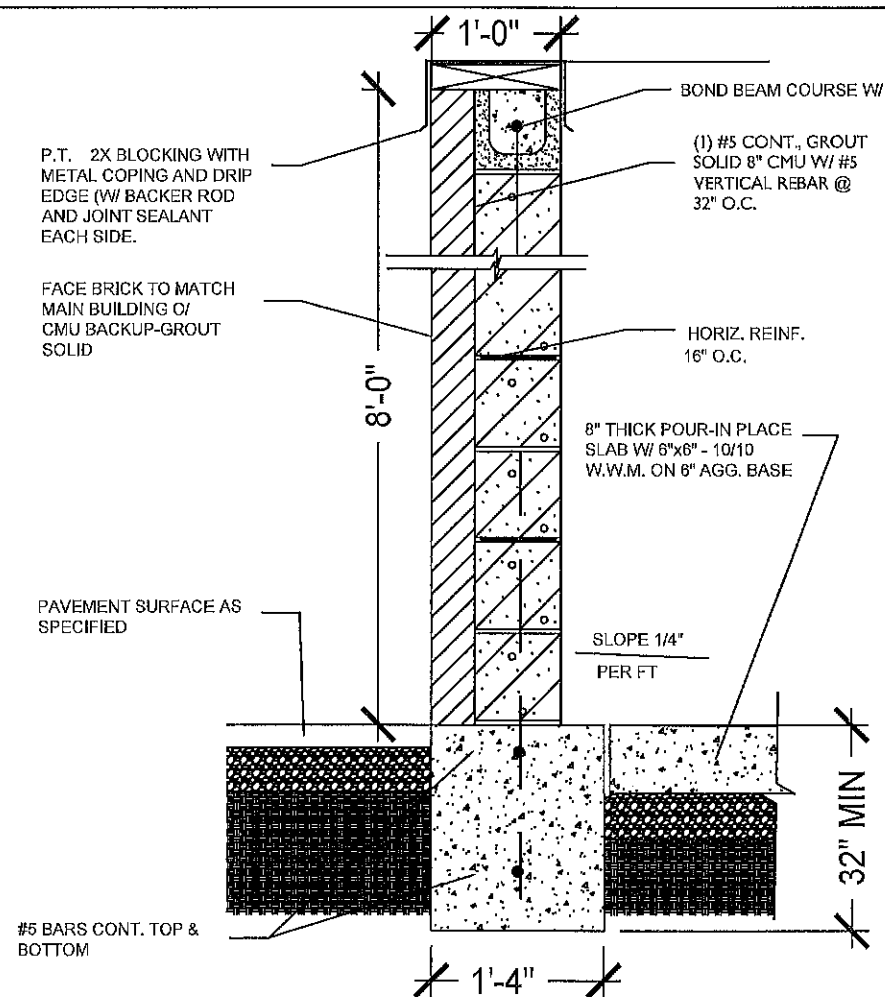
SCALE: NTS **DUMPSTER ENCLOSURE ELEVATION**

3



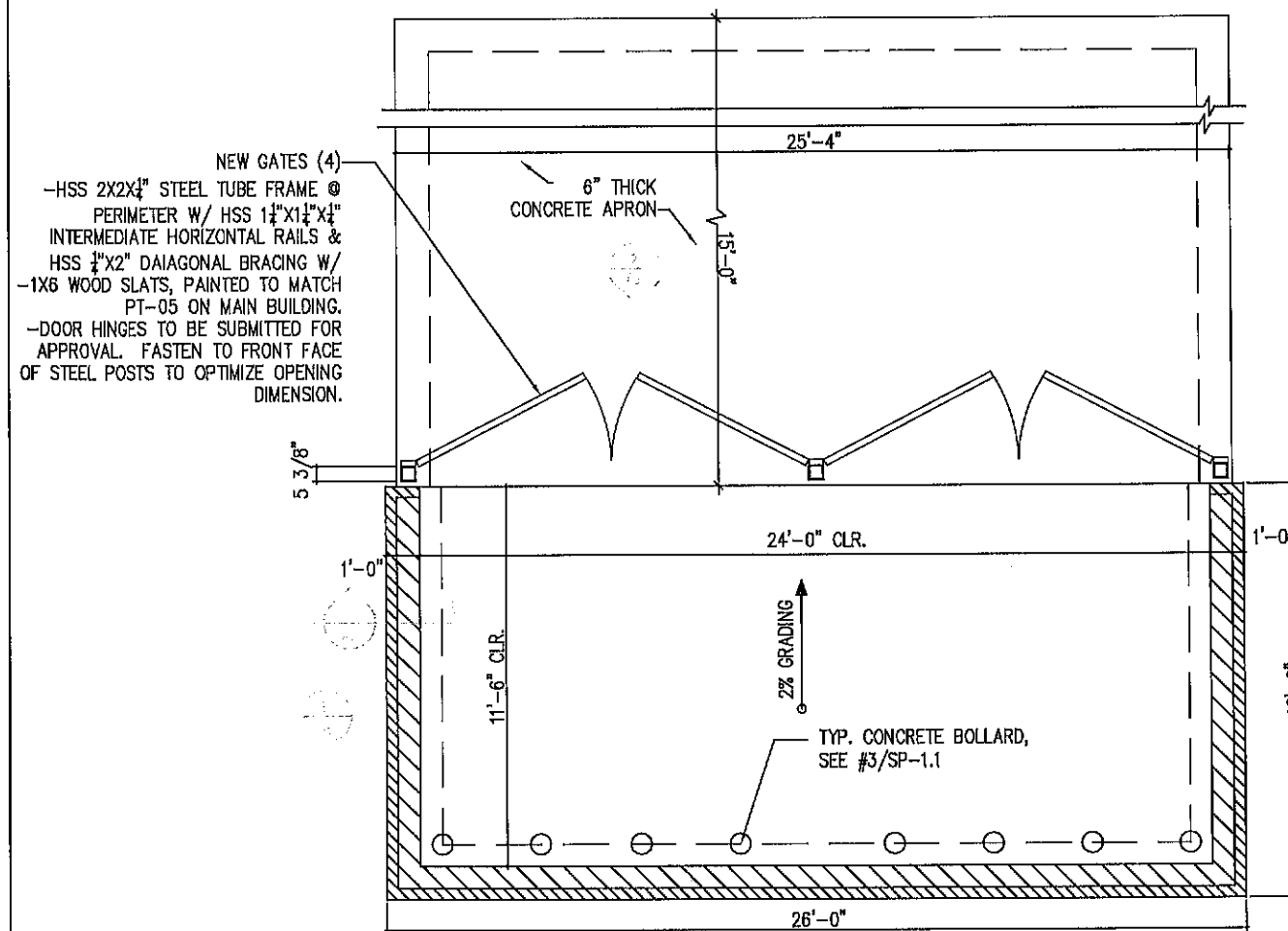
SCALE: NTS **DUMPSTER ENCLOSURE ELEVATION**

2



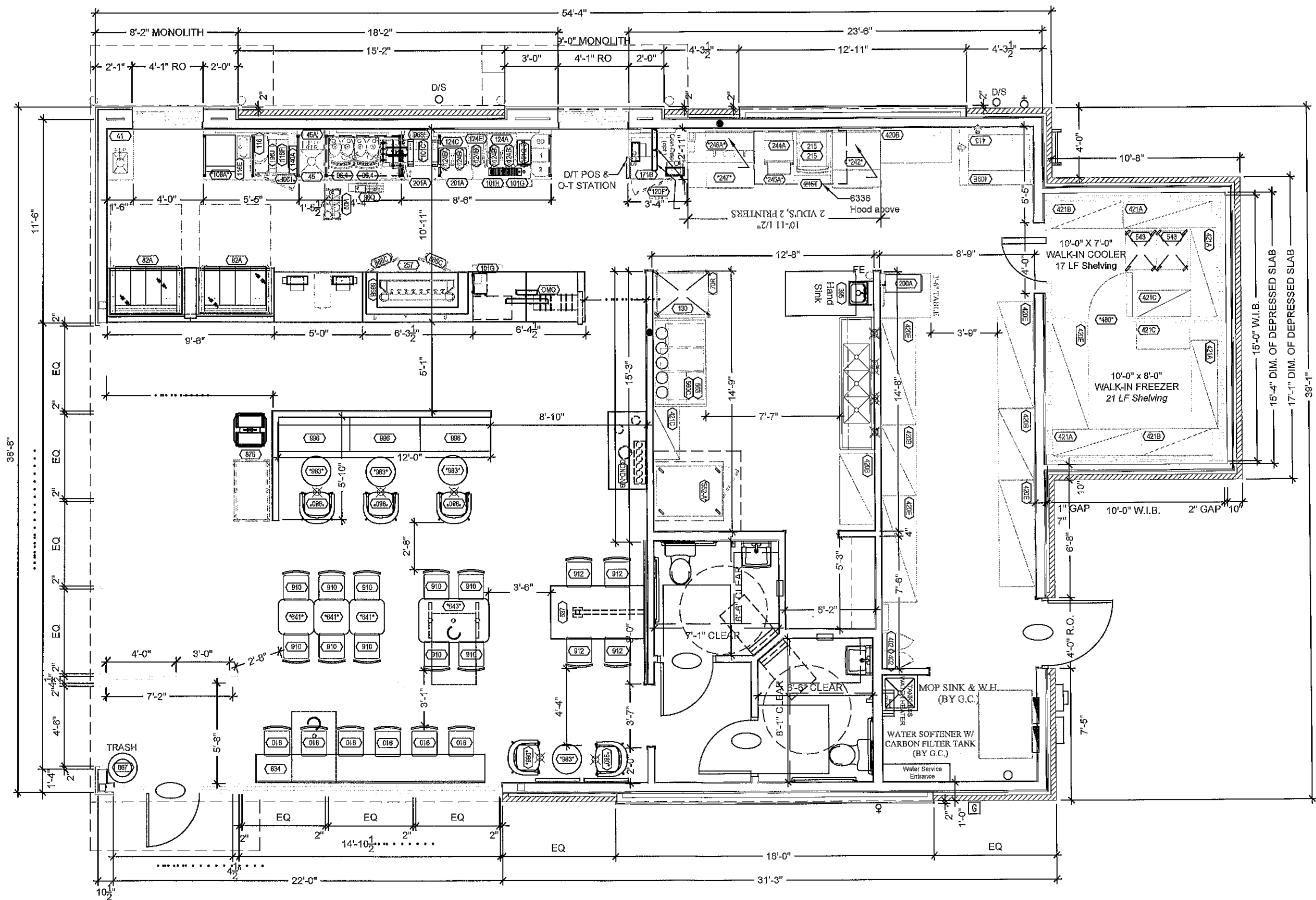
SCALE: NTS      D/T CLEARANCE BAR

4



SCALE: NTS

DUMPSTER ENCLOSURE - PLAN



SCALE: NTS

## FLOOR PLAN

1

NEW BUILDING FOR GILLIGAN CO.:  
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