



RE: Clarity Pointe  
Jeff Chen  
to:  
BarnesT@bceo.org  
12/03/2015 09:36 AM  
Cc:  
Steve Korte  
Hide Details  
From: Jeff Chen <Jeff.Chen@kleingers.com>  
To: "BarnesT@bceo.org" <BarnesT@bceo.org>

Cc: Steve Korte <Stevek@kleingers.com>

5 Attachments



150275STM000 LOCAL STM NETWORK.pdf CLARITY POINTE MEMORY CARE\_CD.pdf

Teresa,

Per our phone conversation, attached are the revised plans and storm calculation for your final approval. Response are noted in red below.

**Jeff Chen, P.E.**  
*Senior Engineer*  
**The Kleingers Group**

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**From:** BarnesT@bceo.org [<mailto:BarnesT@bceo.org>]  
**Sent:** Wednesday, December 02, 2015 2:40 PM  
**To:** Jeff Chen  
**Cc:** Steve Korte  
**Subject:** RE: Clarity Pointe



Jeff

I have reviewed the drawings and calculations submitted for Clarity Pointe and can issue the ESC permit once I receive the \$100 check and the following comment is addressed:

1. I previously mentioned that the flood route at the northwest corner of the site, per the grading plan, directs the flood water onto the neighboring property (the golf course). Structure 101 is a manhole and therefore, does not accept any surface water from this area. Should be get a large storm, the surface water has no where to go except between the proposed landscaping mounds and onto the neighboring golf course. Either modify the landscaping mounds somewhat to allow this water to stay on this property and still get to the drainage way; OR change structure 101 to a catch basin and upsize the pipe to account for the flood route; OR ensure that the neighboring property is aware of the situation and what will happen and supplies a letter of understanding (or easement) for this.

**Replaced structure 101 with ODOT CB2-3 from MH and eliminated the flood route arrow at the NW corner of the site**

I also have a few other comments that will need to be addressed prior to the approval of the building permit.

1. I will need copies of the drawings that show the storm drain system under the building - and the info will have to also be included on the as-builts. **Will request the drawing from MEP and forward a copy to your office ASAP**

2. Sheet C141, the information for structures 209 and 210 need clarification; 209 has 4 inverts out? 210 has one invert in and 2 out - which are at a higher invert than the invert in. Note - the proposed roof drain connections into the structures should be shown as in "Inv IN" as the water is coming INTO the structure (not flowing out of the structure) - please correct this on most of the structures on sheet C141. **Revised per comment**

3. Why has the storm drain pipe around the outside of the building (200-214) been sized for the 100-year? This system does not pass under a building (from a courtyard) and has an open flood route that takes water to the basin. Therefore, this pipe run can meet the requirement of the 10-year within the pipe capacity. **We designed the storm pipes 214-200 for 100 year major flood routing on top of open surface flood route**

4. The pipe run between 300-500-301 is required to be sized to carry the 100-year storm. The provided calculations are somewhat confusing. If structures 307-310 are clean outs and not accepting any water from the courtyard (but are roof drains only) then area 20 can go directly into structure 301. It appears that area 19 would go into structure 302; therefore, the provided calculations should account for water into 302, then into 301, then account for water into 500 and from 500 to 300. Please revise accordingly. **Revised per comment**

Let me know if you have any questions.

THANKS

Teresa



**Teresa Barnes, P.E., CPESC**  
**Design Engineer**  
Butler County Storm Water District  
1921 Fairgrove Avenue  
Hamilton, Ohio 45011  
  
513-785-4142 Office  
513-867-5849 Fax

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**STORM SEWER COMPUTATIONS**  
Clarity Pointe Memory Care Facility

LOCATION			BASIN DATA										PIPE DATA						
Inlet	Area	Outlet	Incr. Area (acres)	Total Area (acres)	Coef. "C"	Incr. C x A (acres)	Sum C x A (acres)	Total Tc (min)	Intensity (in/hr)	Flow Req. (cfs)	Pipe Size (in)	"n" Value	Pipe Length (ft)	Slope (ft/ft)	US Invert (ft)	DS Invert (ft)	Mean Velocity (ft/sec)	Flow Capacity (cfs)	
EXISTING AREA (from report)		CB-214	1.400	1.400	0.60	0.840	0.840	11.67	4.90	4.12									
CO-216	1	YD-215	0.046	0.046	0.95	0.044	0.044	10	5.15	0.23	8	0.010	54	0.0200	867.57	866.49	6.38	2.23	
YD-215	2	CB-214	0.054	0.100	0.85	0.046	0.090	10	5.15	0.46	12	0.013	75	0.0197	866.39	864.91	6.39	5.02	
CB-214	3	CB-213	0.334	1.834	0.75	0.251	1.180	10	7.32	8.63	24	0.013	80	0.0032	862.75	862.49	4.12	12.93	
CB-213	4	CB-211	0.662	2.496	0.75	0.497	1.677	10	7.32	12.27	24	0.013	83	0.0033	862.44	862.17	4.12	12.94	
YD-212	6	CB-211	0.129	0.129	0.72	0.093	0.093	10	5.15	0.48	12	0.013	60	0.0198	866.47	866.28	6.41	5.03	
CB-211	5	MH-207	0.200	2.825	0.75	0.150	1.919	10	7.32	14.04	24	0.013	85	0.0033	862.12	861.84	4.14	13.02	
YD-210	9	YD-209	0.040	0.040	0.82	0.033	0.033	10	5.15	0.17	12	0.013	40	0.0197	867.73	866.94	6.39	5.02	
YD-209	8	MH-207	0.054	0.094	0.56	0.030	0.063	10	5.15	0.32	12	0.013	28	0.0196	866.94	866.39	6.37	5.01	
MH-208	16	MH-207	2.974	2.974	0.75	2.231	2.231	10	5.15	11.49	30	0.013	74	0.0277	866.86	864.81	13.94	68.45	
MH-207	7	CB-203	0.235	6.128	0.75	0.176	4.389	10	7.32	32.12	36	0.013	87	0.0032	861.79	861.51	5.37	37.94	
MH-204	15	CB-203	0.586	0.586	0.85	0.498	0.498	10	5.15	2.57	12	0.013	48	0.0198	867.7	866.75	6.40	5.03	
YD-206	11	YD-205	0.054	0.054	0.83	0.045	0.045	10	5.15	0.23	12	0.013	41	0.0198	867.3	866.49	6.39	5.02	
YD-205	10	CB-203	0.055	0.109	0.82	0.045	0.090	10	5.15	0.46	12	0.013	42	0.0352	866.49	865.01	8.54	6.71	
CB-203	12	CB-202	0.365	7.188	0.75	0.274	5.251	10	7.32	38.42	42	0.013	82	0.0033	861.46	861.19	6.02	57.89	
CB-202	13	MH-201	0.136	7.324	0.75	0.102	5.353	10	7.32	39.17	42	0.013	71	0.0032	861.14	860.91	5.97	57.42	
MH-201	14	HW-200	0.019	7.343	0.95	0.018	5.371	10	7.32	39.30	42	0.013	22	0.0032	860.86	860.79	5.91	56.90	
CO-310	20	YD-301	0.135	0.135	0.95	0.128	0.128	10	5.15	0.66	8	0.010	131	0.0198	868.43	865.83	6.36	2.22	
YD-302	19	YD-301	0.334	0.334	0.75	0.251	0.251	10	5.15	1.29	12	0.013	33	0.0194	866.61	865.97	6.33	4.97	
YD-301	17	HW-300	0.411	0.880	0.75	0.308	0.667	10	7.32	5.03	12	0.013	117	0.0199	865.73	863.40	6.42	5.04	
CO-406	18	HW-400	0.139	0.139	0.95	0.132	0.132	10	5.15	0.68	8	0.010	277	0.0364	868.01	857.92	8.61	3.01	

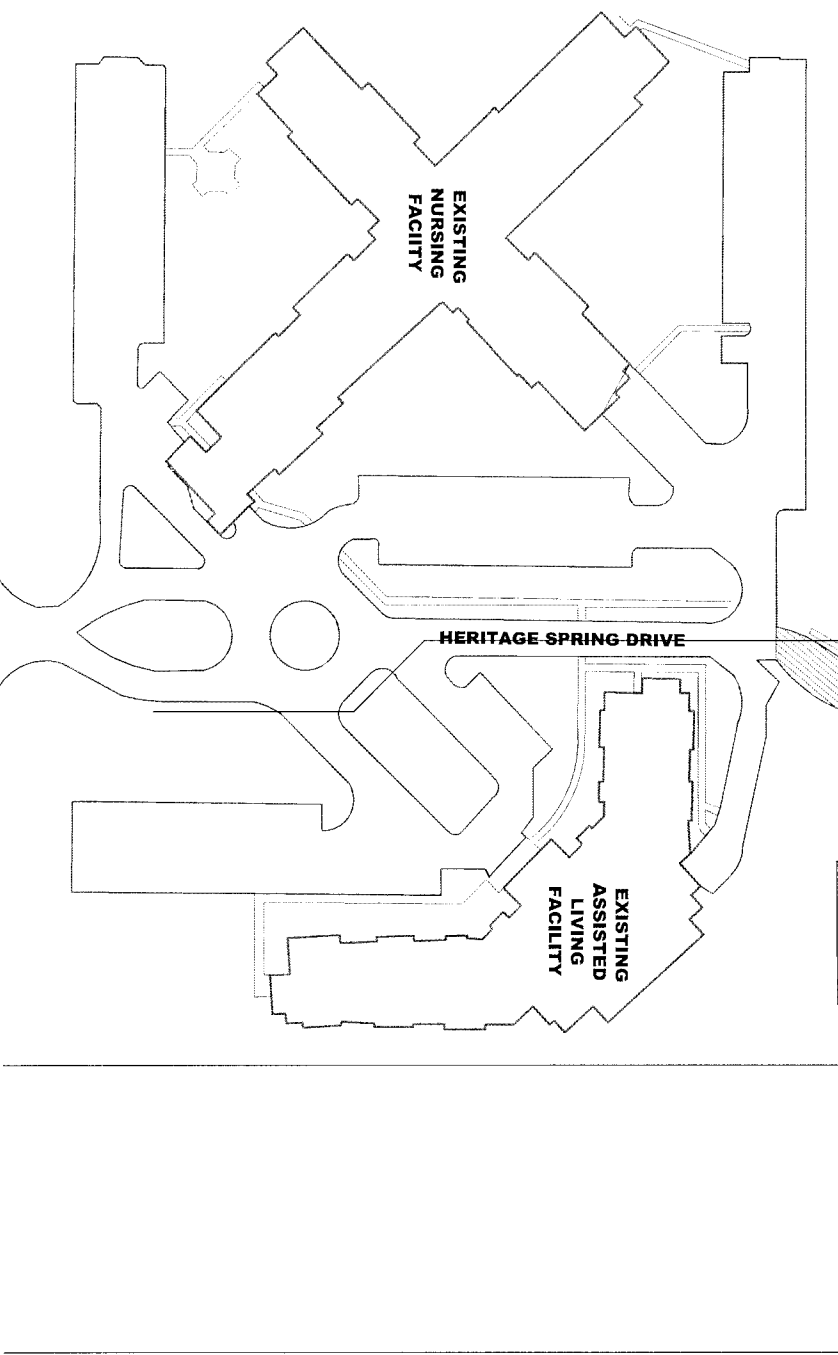
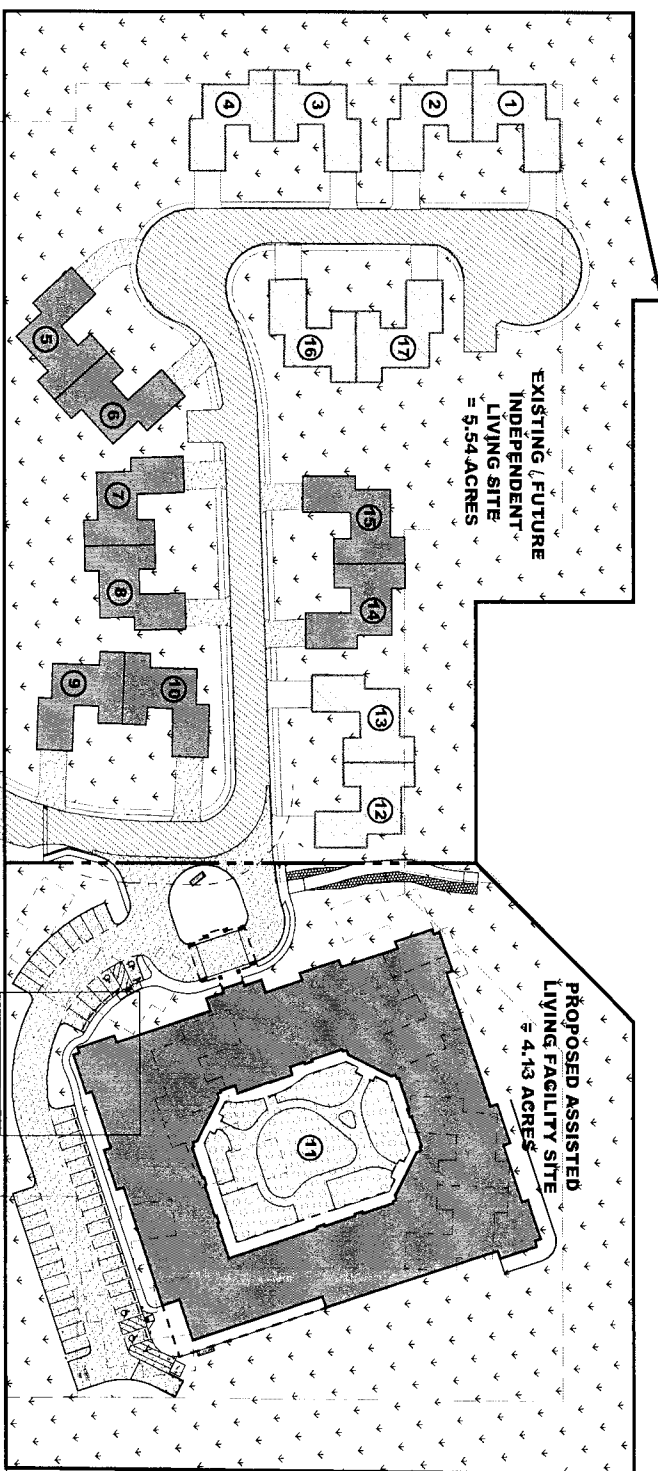
SCANNED

# FINAL PLANNED UNIT DEVELOPMENT (P.U.D.) CLARITY POINTE MEMORY CARE

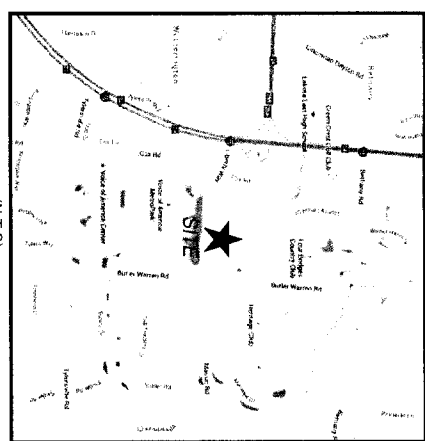
## ASSISTED LIVING FACILITY & IMPROVEMENTS

### SECTION 7, TOWN 3, RANGE 3, LIBERTY TOWNSHIP BUTLER COUNTY, OHIO 45044

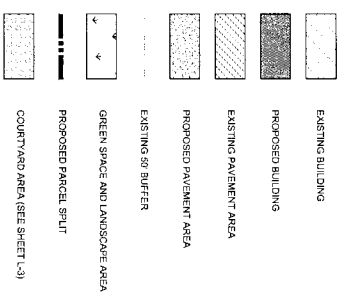
OVERALL PLAN:



P.U.D. VICINITY MAP:



P.U.D. BUILDING LEGEND:



PAGE	TITLE
0000	TITLE SHEET
C100	GENERAL NOTES AND DETAILS
C101	GENERAL NOTES AND DETAILS
C110	SURVEY BASEMAP
C120	DEMOLITION PLAN
C130	LOCATION PLAN
C140	UTILITY PLAN
C141	STORM SEWER PROFILES
C142	STORM SEWER PROFILES
C143	SANITARY SEWER PROFILES
C150	GRADING AND EROSION CONTROL PLAN
C160	EROSION CONTROL, NOTES AND DETAILS
C161	EROSION CONTROL, NOTES AND DETAILS
L100	LANDSCAPE PLAN
L101	LANDSCAPE FIN AGGREGATE PLAN
L200	LANDSCAPE DETAILS
L300	IRIGATION ZONE PLAN
A201A	EXTERIOR ELEVATIONS
A201B	BUILDING ELEVATIONS & SIGNAGE
A201C	RENDERINGS
A201D	DUMPSTER ENCLOSURE DETAILS
1-01-1	PHOTOMETRIC LIGHTING PLAN
1-3	COURTYARD LANDSCAPE PLAN

PUD MODIFICATION DATA:

APPROVED: CONSISTED OF 13, TWO FAMILY BUILDINGS WITH CONCRETE DRIVEWAYS, ASPHALT DRIVES, CONCRETE WALK, AND ASSOCIATED UTILITIES TO SERVE.  
 MODIFICATION: 5 - TWO FAMILY BUILDINGS, CONCRETE DRIVEWAYS, AND THE DRIVES AND UTILITIES ASSOCIATED HAVE BEEN REMOVED FROM THE PUD. DEMOLITION HAS BEEN RECALCULATED. THE REMAINING BUILDINGS HAVE BEEN RECALCULATED TO MEET THE MINIMUM REQUIREMENTS FOR THE ZONING DISTRICT. DRIVEWAY, DRIVE, WALK, AND UTILITIES TO SERVE.

ZONING INFORMATION:

ZONE: RPUD - RESIDENTIAL PLANNED UNIT DEVELOPMENT DISTRICT  
 EXISTING USE: TWO-FAMILY RESIDENTIAL  
 FUTURE USE: TWO-FAMILY & ADULT GROUP HOME (LARGE RESIDENTIAL)

PARKING CALCULATION INFORMATION:

REQUIRED: 66 BEDS x 1 SPACE PER 3 BEDS = 22 SPACES REQUIRED  
 PROVIDED: PROPOSED MEMORY CARE BLDG = 42 SPACES  
 HANDICAP SPACES PROVIDED = 04 SPACES  
 48 SPACES PROVIDED

AREA CALCULATION DATA:

BUILDING AREA: 8 - TWO FAMILY BUILDINGS 42,520 SF  
 1 - PROP. MEMORY CARE BLDG 41,384 SF  
 TOTAL BUILDING AREA = 83,904 SF (20.5% SITE)  
 PAVED AREAS: 16 - CONCRETE DRIVES 9,376 SF  
 ASPHALT DRIVES 34,166 SF  
 48 PARKING SPACES 7,978 SF  
 SIDEWALK COVERAGE 14,398 SF  
 TOTAL PAVED AREA = 65,918 SF (15.6% SITE)  
 PERVIOUS AREAS: GRASS & LANDSCAPE AREA = 288,592 SF (63.9% SITE)

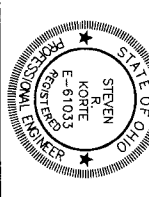
DEVELOPER & DESIGN TEAM INFORMATION:

OWNER: BARRINGTON COTTAGES REALTY, LTD  
 390 WINDSOR COUNTRY ROAD  
 COVINGTON, OH 45920  
 CONTACT: DAVID EFFERS  
 PHONE: (619) 943-4000  
 DEVELOPER: HERITAGE DEVELOPMENT PARTNERS, LLC  
 2855 HAMPTON COVE WAY  
 HAMPTON COVE, ALABAMA 35713  
 CONTACT: ROLAND G. WINTZINGER  
 PHONE: (205) 569-3454  
 ARCHITECT: WAKERFIELD BEASLEY & ASSOCIATES  
 1000 W. 10TH STREET, SUITE 100  
 ATLANTA, GEORGIA 30009  
 PHONE: (770) 209-8393  
 SITE ENGINEER: THE KLEINGERS GROUP  
 6525 CENTRE PARK DRIVE  
 WEST CHESTER, OH 45389  
 CONTACT: STEVE KORTE AMEN BAYARE  
 PHONE: (619) 719-1831  
 LANDSCAPING: THE KLEINGERS GROUP  
 6525 MAIN STREET  
 COVINGTON, OH 45920  
 CONTACT: JENNIFER SCHWITZ, RYAN YOUNG  
 PHONE: (619) 719-1831  
 SUPERVISING: THE KLEINGERS GROUP  
 8905 CENTRE PARK DRIVE  
 WEST CHESTER, OH 45389  
 CONTACT: RANDY WOLF  
 PHONE: (619) 719-1831



**THE KLEINGERS GROUP**  
 CIVIL ENGINEERING | www.kleingers.com  
 SURVEYING | 5205 Centre Park Dr.  
 LANDSCAPE ARCHITECTURE | West Chester, OH 45389  
 513.779.1831

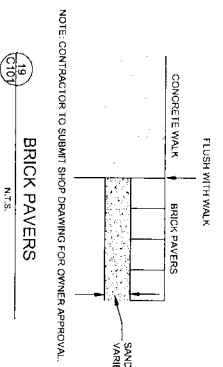
SCANNED



NO. DATE DESCRIPTION  
 1 8/20/15 PRELIMINARY P.U.D. - MAJOR MOD  
 2 8/16/15 FINAL P.U.D.

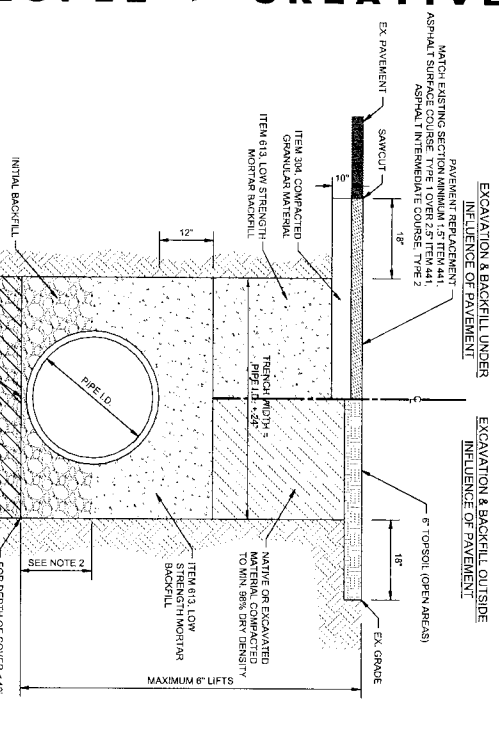
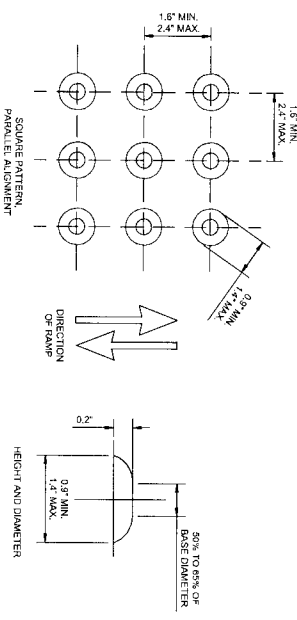
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 SHEET NO: C000  
 PROJECT NO: 150275.000  
 DATE: 8/14/15  
 FOR: HERITAGE DEVELOPMENT PARTNERS, LLC  
 FINAL P.U.D.  
 CLARITY POINTE  
 MEMORY CARE  
 SECTION 7, TOWN 3, RANGE 3  
 LIBERTY TOWNSHIP  
 BUTLER COUNTY, OHIO  
 THE KLEINGERS GROUP  
 6525 MAIN STREET  
 COVINGTON, OH 45920  
 PHONE: (619) 719-1831





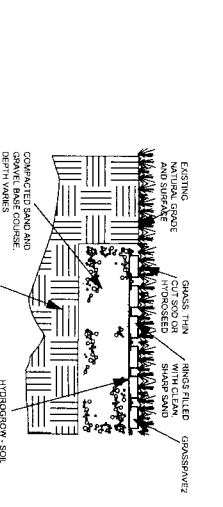
NOTES:

- GENERAL:
1. DETECTABLE WARNINGS ARE A VISUALLY PROMINENT SURFACE PATTERN OF RAISED OR LOWER SURFACES WHICH ARE DETECTABLE BY CANE OR UNDERFOOT TO ALERT PEOPLE WITH VISION IMPAIRMENTS OF THEIR APPROACH TO STREETS AND VARIOUS DROPOFFS.
  2. DETECTABLE WARNINGS ARE TO BE INSTALLED AT ANY LOCATION WHERE PEDESTRIANS MIGHT CROSS PATHS OF VEHICULAR TRAFFIC LANES, SUCH AS THE BASE OF CURB RAYS OR AT BLENDED CURBS, A 2" STRIP OF CURB TO BE INSTALLED FOR THE FULL WIDTH OF THE RAMP OR WALK.
  3. THE DEPTH OF CONCRETE UNDERNEATH DETECTABLE WARNING PRODUCTS SHALL BE A MINIMUM OF 4".
  4. COLOR OF THE DETECTABLE WARNINGS SHOULD CONTRAST WITH SURROUNDING CONCRETE WALK AND CURB. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE LOCAL AUTHORITY FOR THE COLOR OF THE WALK AND CURB. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE LOCAL AUTHORITY FOR THE COLOR OF THE WALK AND CURB. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE LOCAL AUTHORITY FOR THE COLOR OF THE WALK AND CURB.

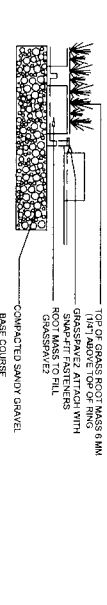
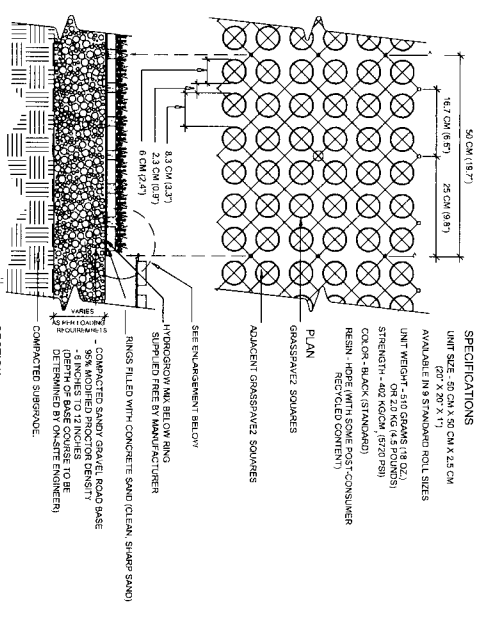


NOTES:

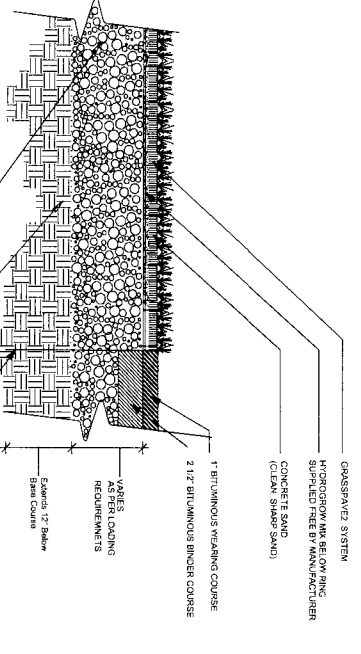
1. REFER TO OSMV REQUIREMENTS FOR MAXIMUM ALLOWABLE TRENCH DEPTHS.
2. THIS PORTION OF THE PIPE EMBEDMENT ZONE MUST BE RECOMPACTED TO 95% DRY DENSITY.
3. PROVIDE FILTER FABRIC WHEN VERY FINE OR UNSTABLE MATERIAL IS ENCOUNTERED.
4. APPLY ITEM #07 TACK COAT TO VERTICAL FACE OF SAWCUT PAVEMENT.



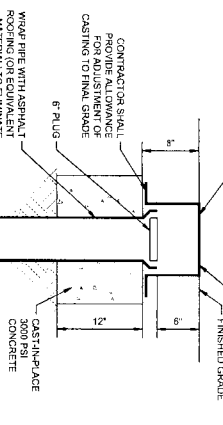
C111 GRASSPAVEZ FLUSH NATURAL EDGING DETAIL N.T.S.



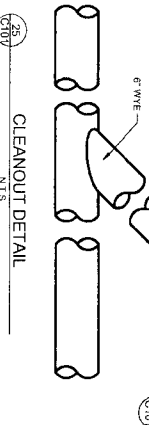
C113 TYPICAL GRASSPAVEZ DETAIL N.T.S.



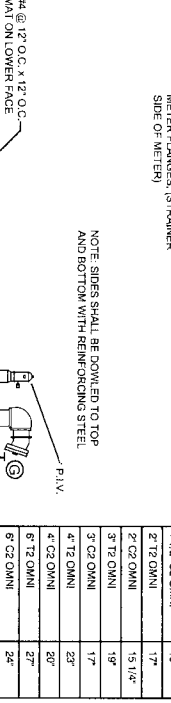
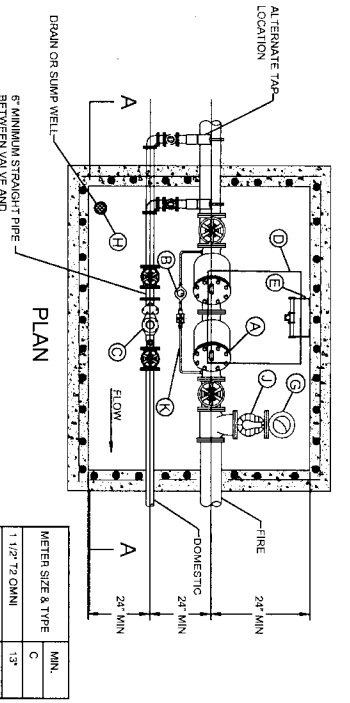
C114 GRASSPAVEZ AT ASPHALT EDGE N.T.S.



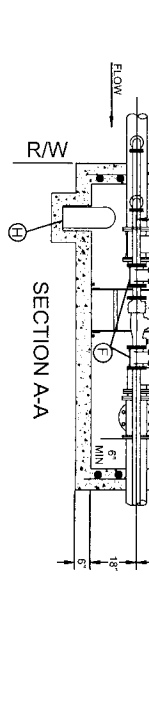
C115 CONCRETE DUMPMSTER PAD DETAIL N.T.S.



C116 CLEANOUT DETAIL N.T.S.

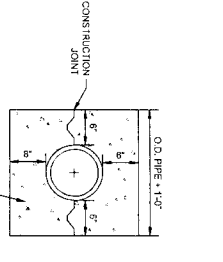


C118 SECTION A-A N.T.S.



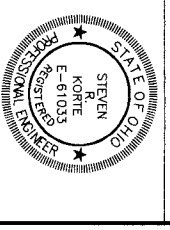
C119 BUTLER COUNTY WATER METER PIT (DETAIL 5200) DUAL SERVICE SETTING WITH BACKFLOW DEVICE N.T.S.

- OWNER INSTALLATION INSTRUCTIONS:
1. WHEN INSTALLING SENSUS OMNIMETERS WITH THE STRAINER, A MINIMUM OF 2 1/2\"/>
- A) FIRE SERVICE BACKFLOW PREVENTION DEVICE: WANTS #759-B/C/D, VALVES #800-D, OR EQUAL.
  - B) BYPASS DEVICES: WANTS #759-B/C/D, VALVES #800-D, OR EQUAL, SIMILAR TO THE WANTS #716.
  - C) DOMESTIC METER FLUSHED BY BUTLER CO. NOTE: 3\"/>
3. INSTALL NON-CENTRIC REDUCERS, CHECK VALVES, BACKFLOW DEVICES, ATTITUDE VALVES, NO CLOSER THAN 4\"/>
- A) FIRE SERVICE BACKFLOW PREVENTION DEVICE: WANTS #759-B/C/D, VALVES #800-D, OR EQUAL.
  - B) BYPASS DEVICES: WANTS #759-B/C/D, VALVES #800-D, OR EQUAL, SIMILAR TO THE WANTS #716.
  - C) DOMESTIC METER FLUSHED BY BUTLER CO. NOTE: 3\"/>



C120 CONCRETE ENCASUREMENT DETAIL N.T.S.

NO. DATE DESCRIPTION  
 1 6/12/2019 PRELIMINARY P.U.D. - VALOR WOD  
 2 8/14/2019 FINAL P.U.D.



FINAL P.U.D.  
**CLARITY POINT  
 MEMORY CARE**  
 SECTION 7, TOWN 3, RANGE 3  
 BUTLER COUNTY, OHIO  
 FOR: HERITAGE DEVELOPMENT PARTNERS, LLC

PROJECT NO: 150275/000  
 DATE: 8/14/15  
 SCALE:  
 SHEET NAME:  
**GENERAL NOTES  
 & DETAILS**

SHEET NO:  
**C101**

**THE KLEINGERS GROUP**  
 CIVIL ENGINEERING www.kleingers.com  
 SURVEYING 5205 CAMP Pkwy, Ste. 200  
 LANDSCAPE ARCHITECTURE 512.732.3851

D0716-009-000-028  
 FCC HOLDINGS, LLC  
 O.R. 8545 PG 2120  
 4.65763 ACRES (DEED)  
 S.R. 47-30A

D0716-009-000-019  
 BARRINGTON COTTAGE HOMES, LTD.  
 O.R. 7871 PG 115  
 9.6717 ACRES (DEED)

D0716-009-000-019  
 BARRINGTON COTTAGE HOMES, LTD.  
 O.R. 7871 PG 115  
 9.6717 ACRES (DEED)

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D0716-009-000-019  
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D0716-009-000-019  
 BARRINGTON COTTAGE HOMES, LTD.  
 O.R. 7871 PG 115  
 9.6717 ACRES (DEED)

D0716-009-000-019  
 BARRINGTON COTTAGE HOMES, LTD.  
 O.R. 7871 PG 115  
 9.6717 ACRES (DEED)

**SURVEY BASEMAP LEGEND:**

**LEGEND**

- 58" IRON PIN SET
- IRON PIN FOUND (SIZE AS NOTED)
- ▢ AIR CONDITIONING UNIT
- ▣ ELECTRIC BOX
- ▲ LIGHT POLE
- FULL BOX
- PHONE BOX
- CATCH BASIN
- INLET
- MANHOLE
- CLEANOUT
- FIRE DEPARTMENT CONNECTOR
- FIRE HYDRANT
- IRRIGATION CONTROL VALVE
- POST INDICATOR VALVE
- WATER METER
- WATER VALVE
- FENCE POST
- MAIL BOX
- SIGN - SINGLE POST
- GAS SERVICE
- GAS VALVE
- TREE - DECIDUOUS
- TREE - CONIFEROUS
- TREE LINE
- FENCE LINE
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- GAS LINE
- WATER LINE
- STORM SEWER
- SANITARY SEWER
- ▨ ASPHALT
- ▨ CONCRETE
- ▨ LANDSCAPE

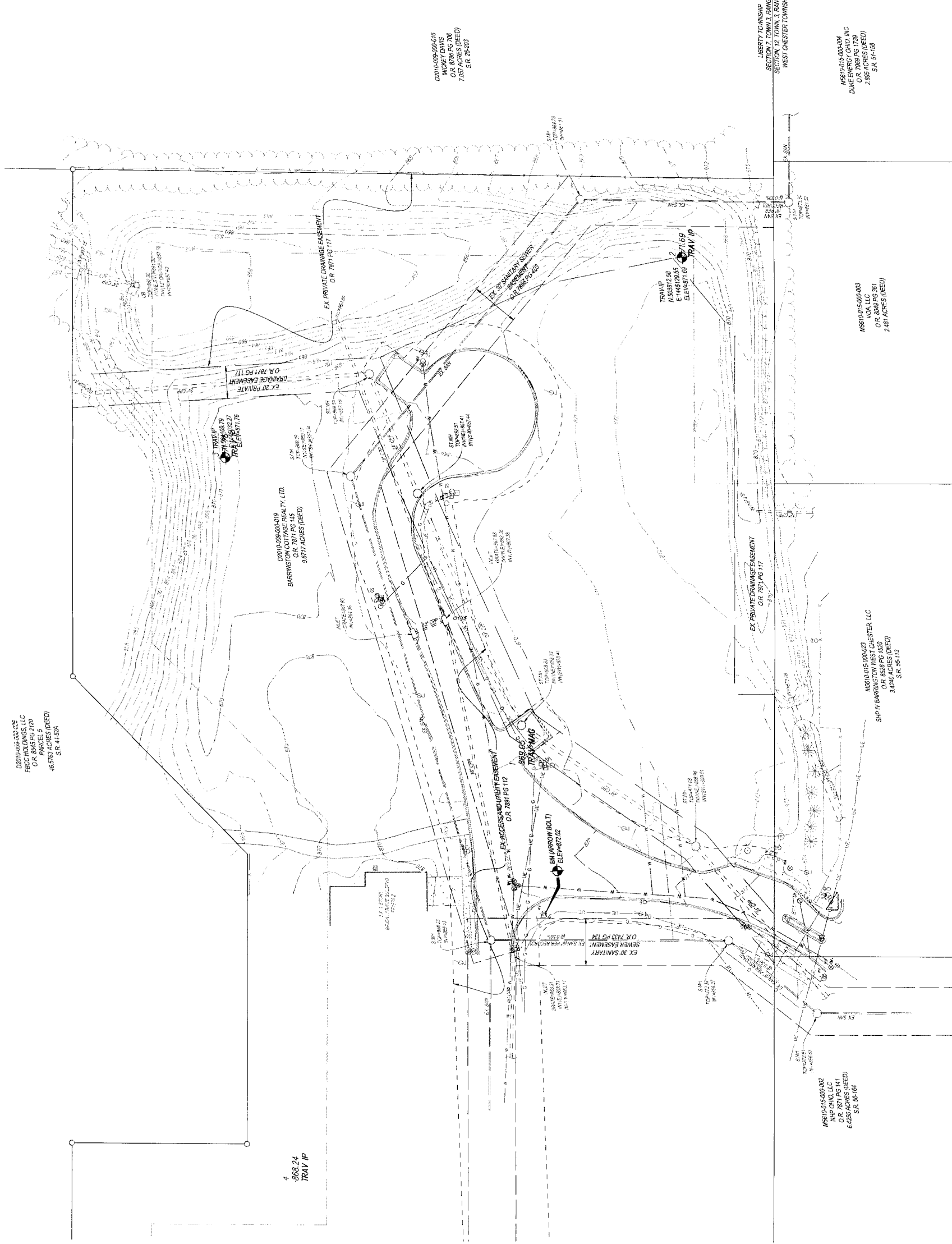
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 BARRINGTON COTTAGE HOMES, LTD.  
 O.R. 7871 PG 115  
 9.6717 ACRES (DEED)  
 S.R. 25-203

A0670-015-000-004  
 DUKE ENERGY, CHIO, INC.  
 O.R. 8489 PG 1739  
 2.885 ACRES (DEED)  
 S.R. 51-158

A0670-015-000-003  
 O.R. 8489 PG 361  
 2.481 ACRES (DEED)

A0670-015-000-023  
 SHIP H BARRINGTON WEST CHESTER, LLC  
 O.R. 8538 PG 1520  
 3.426 ACRES (DEED)  
 S.R. 35-113

M0670-015-000-002  
 SHIP H BARRINGTON WEST CHESTER, LLC  
 O.R. 8538 PG 1517  
 6.425 ACRES (DEED)  
 S.R. 35-164



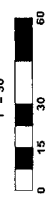
**THE KLEINGERS GROUP**  
 CIVIL ENGINEERING SURVEYING ARCHITECTURE  
 www.kleingers.com  
 6305 Centre Park Dr., Columbus, OH 43269  
 614.291.7851



NO. DATE DESCRIPTION  
 1 6/12/2015 PRELIMINARY P.U.D. - MAJOR MOD.  
 2 8/14/2015 FINAL P.U.D.

**FINAL P.U.D.  
 CLARITY POINTE  
 MEMORY CARE**  
 SECTION 7, TOWN 3, RANGE 3  
 LIBERTY TOWNSHIP  
 BUTLER COUNTY, OHIO  
 FOR HERITAGE DEVELOPMENT PARTNERS,  
 LLC

PROJECT NO: 150276-000  
 DATE: 8/14/15  
 SCALE: 1" = 30'



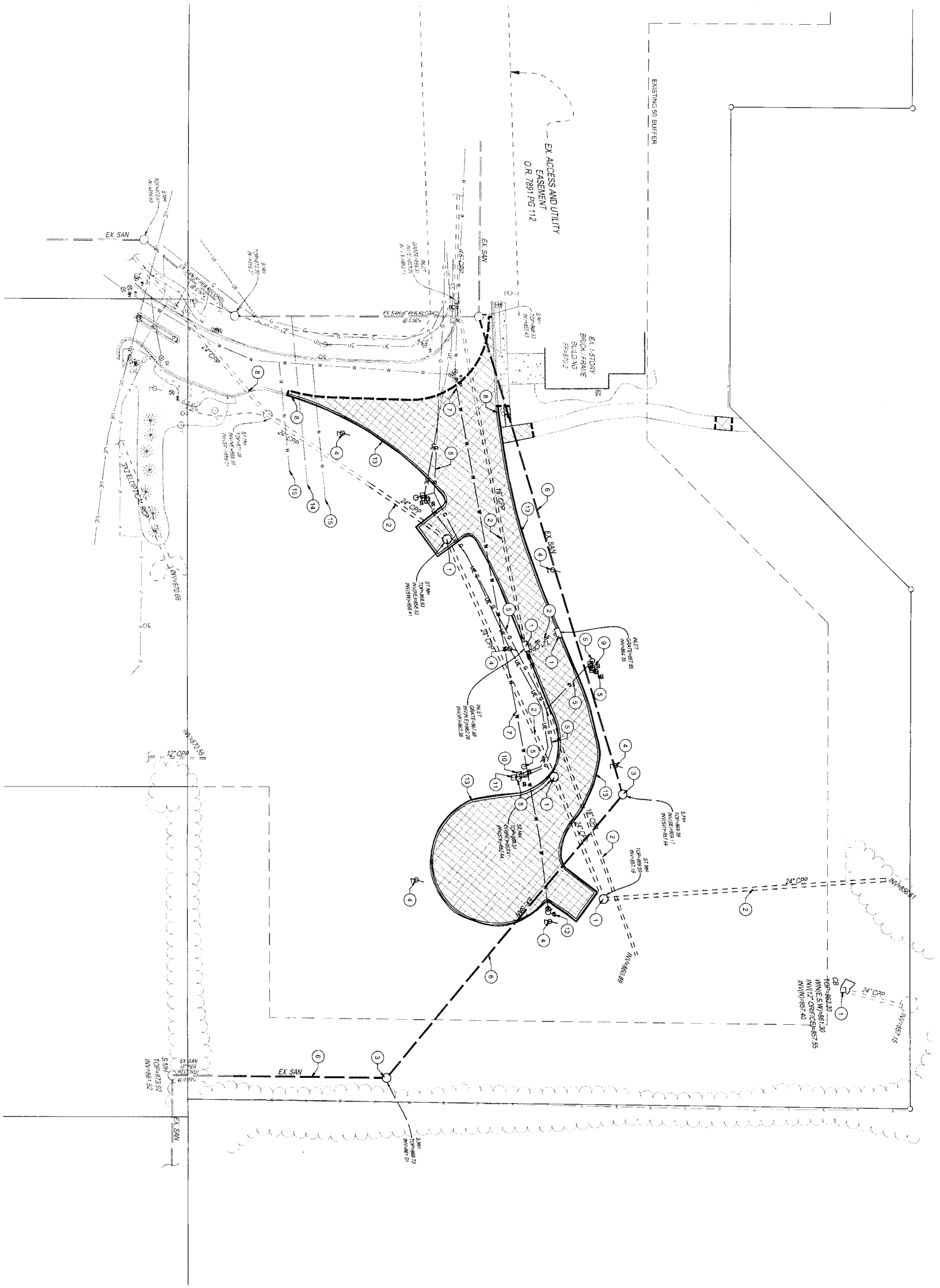
**SURVEY BASEMAP**  
 SHEET NO: **C110**

**SURVEY BASEMAP NOTES:**

- NOTE:**  
 UNDERGROUND UTILITIES ARE PLOTTED FROM A COMPILED OF RECORD DRAWINGS AND FIELD SURVEY DATA. LOCATIONS AND DEPTHS OF UTILITIES ARE APPROXIMATE AND NOT BE INCLUDED IN THE CONSTRUCTION OF STRUCTURES AND MAY NOT BE COMPLETELY PRECISE. LOCATIONS AND THE EXISTENCE OR NON-EXISTENCE OF UNDERGROUND UTILITIES CANNOT BE VERIFIED. PLEASE NOTIFY THE OHIO UTILITY PROTECTION SERVICE AT 1-800-852-2794 BEFORE ANY PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.
- NOTES:**
- SOURCE DOCUMENTS AS NOTED.
  - OCCUPATION IN GENERAL FITS SURVEY.
  - MONUMENTATION IS IN GOOD CONDITION UNLESS OTHERWISE NOTED.
  - HORIZONTAL AND VERTICAL DATUMS ARE BASED ON THE OHIO STATE PLANE COORDINATE SYSTEM SOUTH ZONE AS DERIVED FROM THE OHIO DEPARTMENT OF TRANSPORTATION'S VIRTUAL REFERENCE STATIONING SYSTEM (VRS) (NAD 83) (NAVD 88).
  - SITE BENCHMARKS AS SHOWN HEREON.



**811**  
 Know what's below. Call before you dig.  
 OHIO Utilities Protection SERVICE  
 1-800-852-2794 Call before you dig.



**DEMOLITION PLAN LEGEND**

- REMOVE EXISTING CONCRETE TO FULL DEPTH
- REMOVE EXISTING ASPHALT PAVEMENT TO FULL DEPTH
- REMOVE EXISTING LANDSCAPING
- SAND/GRAVEL BASE: CONTRACTOR IS TO REMOVE EXISTING SAND/GRAVEL BASE AND EXISTING PAVEMENT TO FULL DEPTH TO CREATE A CLEAN BUILT JOINT. COAT EDGE OF SAND AND GRAVEL WITH RESURF.

**DEMO KEY NOTES:**

1. REMOVE EXISTING STORM STRUCTURE
2. REMOVE EXISTING STORM PIPE TO EXTERIOR SNOW.
3. REMOVE EXISTING SANITARY MANHOLE.
4. REMOVE EXISTING LIGHT POLE AND ASSOCIATED FOUNDATION.
5. REMOVE EXISTING GAS SERVICE.
6. REMOVE EXISTING SANITARY PIPE.
7. REMOVE EXISTING WATER SERVICE AND CAP FOR FUTURE USE PER BUTLER COUNTY STANDARDS.
8. REMOVE EXISTING CONCRETE CURB TO NEAREST JOINT.
9. REMOVE EXISTING ELECTRIC SERVICE / BOX.
10. REMOVE EXISTING TRANSFORMER AND EXISTING PAD COMPLETE. COORDINATE WITH DEVELOPER REGARDING DISPOSAL.
11. REMOVE EXISTING TELECOMMUNICATIONS SERVICE / BOX.
12. REMOVE EXISTING FIRE HYDRANT AND STORE FOR REUSE.
13. REMOVE EXISTING CONCRETE CURB AND CUTTER.
14. CAP EXISTING SANITARY SERVICE LINES AND ABANDON IN PLACE PER BUTLER COUNTY STANDARDS.
15. CAP EXISTING WATER SERVICE LINES AND ABANDON IN PLACE PER BUTLER COUNTY STANDARDS.

**DEMOLITION NOTES:**

1. CONTRACTOR TO CORRODATE ALL ELECTRICAL, CABLE, TELECOMMUNICATION AND GAS SERVICE REMOVAL WITH PROVIDER BEFORE UTILITY DEMOLITION IS TO BEGIN. REMOVE SERVICE PER PROVIDER STANDARDS.
2. CONTRACTOR TO CORRODATE DOMESTIC/FIRE WATER REMOVAL WITH BUTLER COUNTY WATER AND SEWER DEPARTMENT BEFORE UTILITY DEMOLITION IS TO BEGIN. REMOVE PER BUTLER COUNTY STANDARDS.
3. CONTRACTOR TO CORRODATE SEWER TAP REMOVAL WITH BUTLER COUNTY WATER AND SEWER DEPARTMENT BEFORE UTILITY DEMOLITION IS TO BEGIN. REMOVE PER BUTLER COUNTY STANDARDS.
4. ANY EXCAVATIONS COMPLETED FROM THE DEMOLITION OF EXISTING BUILDING FOUNDATIONS, BASEMENT DRIVES, AND UTILITIES SHALL BE GRADED TO MEET EXISTING GRADE AT 1 MAXIMUM. ANY DEPRESSIONS SHALL BE GRADED TO DRAIN CONTRACTOR TO COMPACT TILLS WITH REINFORCEMENTS. TILL PER GEOTECHNICAL ENGINEERS RECOMMENDATIONS.
5. REFER TO EXISTING SPECIFICATIONS FOR BACKFILL AND COMPACTION STANDARDS.

**THE KLEINGERS GROUP**  
 CIVIL ENGINEERING  
 5055 Camp Hill Rd.  
 Columbus, OH 43089  
 614.297.7851  
 www.kleingers.com

STATE OF OHIO  
 REGISTERED PROFESSIONAL ENGINEER  
 STEVEN R. KLOTZ  
 E-91003

NO.	DATE	DESCRIPTION
1	6/12/2015	PRELIMINARY P.U.D. - MAJOR MOD.
2	8/14/2015	FINAL P.U.D.

**FINAL P.U.D.**  
**CLARITY POINTE**  
**MEMORY CARE**  
 SECTION 7, TOWN 3, RANGE 3  
 LIBERTY TOWNSHIP  
 BUTLER COUNTY, OHIO  
 FOR HERITAGE DEVELOPMENT PARTNERS,  
 LLC

PROJECT NO: 1502725.000  
 DATE: 8/14/15

SCALE: 1" = 30'

SHEET NAME: DEMOLITION PLAN

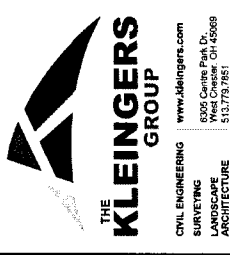
SHEET NO: C120



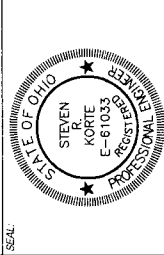
OHIO  
 Utilities Protection  
 SERVICE  
 811  
 1.800.485.7424  
 Call before you dig.







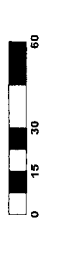
**THE KLEINGERS GROUP**  
 CIVIL ENGINEERING | www.kleingers.com  
 SURVEYING | 8305 Centre Park Dr.  
 LANDSCAPE ARCHITECTURE | Columbus, OH 43268  
 PHONE: 614.730.1861



NO. DATE DESCRIPTION  
 1 8/12/2015 PRELIMINARY P.U.D. - MAJOR MOD.  
 2 8/14/2015 FINAL P.U.D.

**FINAL P.U.D.**  
**MEMORY POINTE**  
**CLARITY CARE**  
 SECTION 7, TOWN 3, RANGE 3  
 LIBERTY TOWNSHIP  
 BUTLER COUNTY, OHIO  
 FOR HERITAGE DEVELOPMENT PARTNERS,  
 LLC

PROJECT NO: 150275.000  
 DATE: 8/14/15  
 SCALE: 1" = 30'



SHEET NAME: LOCATION PLAN

LOCATION PLAN

SHEET NO: C130

**LOCATION PLAN LEGEND:**

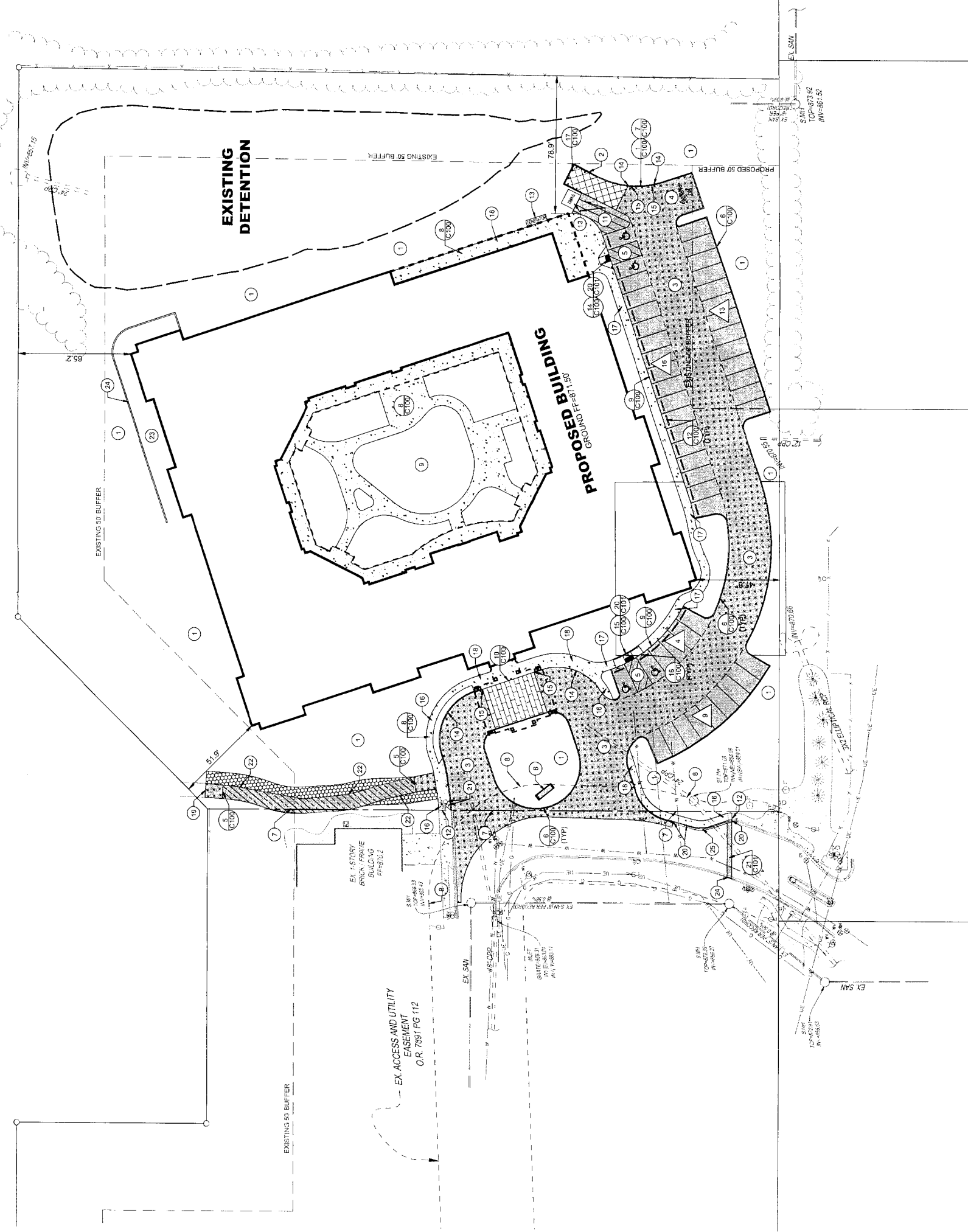
- 3 C100 STANDARD DUTY ASPHALT
- 1 A100 HEAVY DUTY ASPHALT
- 26 C100 CONCRETE DUMPS/TER PAD
- 8 C100 CONCRETE WALK
- 16 C100 WALK WITH INTEGRAL CURB SEE DETAIL C100
- 16 C100 WALK FLUSH WITH PAVEMENT SEE DETAIL C100C100
- 23 C100 BRICK PAVERS
- 23 C100 GRASSPAVED POROUS PAVERS
- 2 C100 1-1/2" ASPHALT OVERLAY
- DEKOTES TRANSITION BETWEEN ASPHALT PAVEMENT
- △ N PARKING SPACE TOTAL

**LOCATION KEY NOTES:**

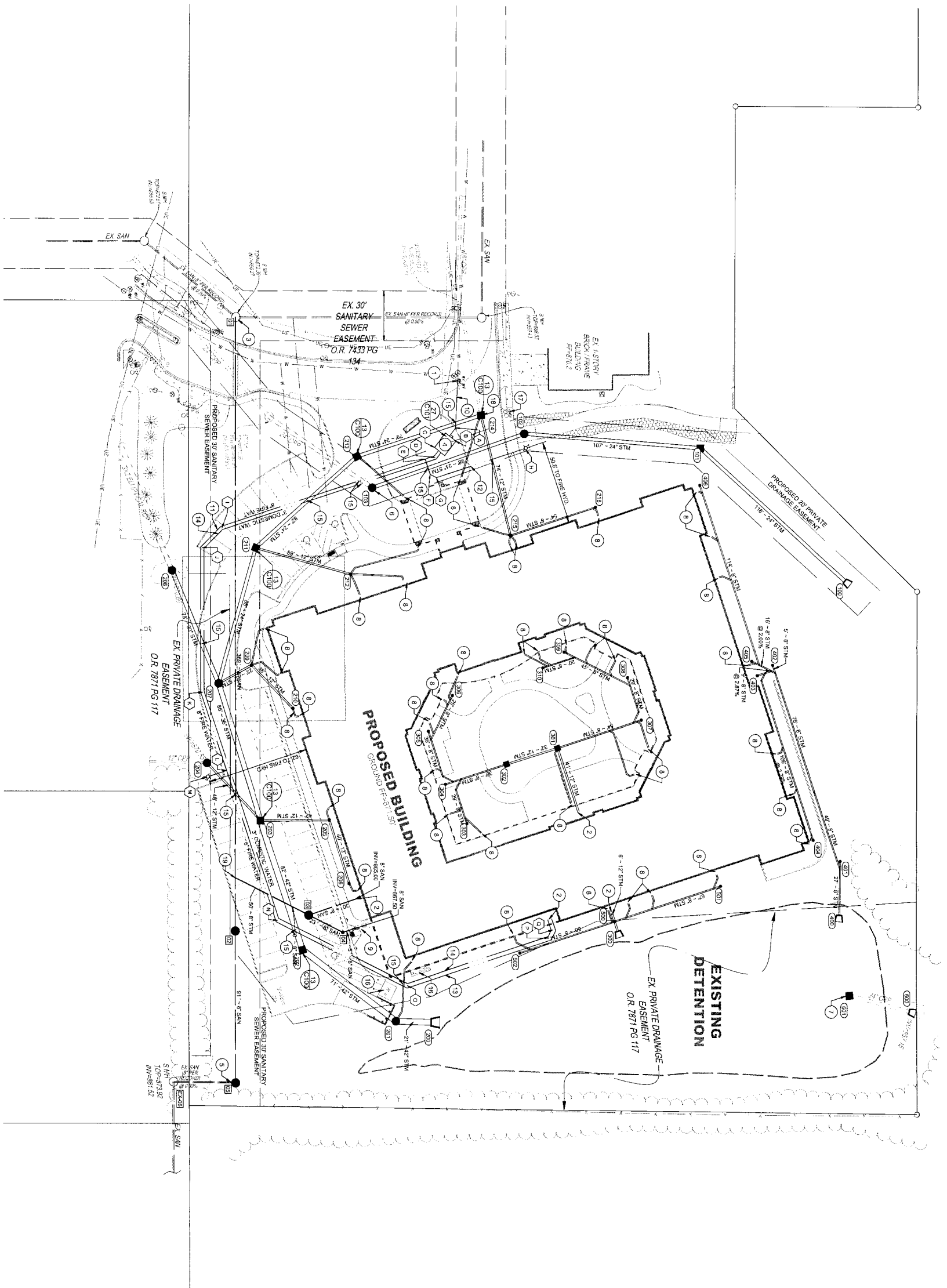
- 1 PROPOSED GRASS OR LANDSCAPE AREA. REFER TO LANDSCAPE PLAN SHEETS FOR PLANTING DETAILS.
- 2 PROPOSED DUMPS/TER ENCLOSURE. BOLLARD SPACING SHOWN FOR REFERENCE. SEE ARCHITECTURAL DRAWINGS FOR DETAIL.
- 3 24" DRIVE AISLE.
- 4 21" WIDE TURNAROUND.
- 5 TWO HANDICAP SPACES AT 9'x18' WITH 8' WIDE VAN ACCESSIBLE ACCESS AISLE.
- 6 PROPOSED ENTRANCE SIGN. REFER TO ARCHITECTURAL PLANS FOR SIGN USE AISLES.
- 7 APPROXIMATELY LOCATION OF FUTURE LOT LINE SPLIT.
- 8 APPROXIMATE LOCATION OF FUTURE ACCESS AND UTILITY EASEMENT ADJUSTMENT.
- 9 PROPOSED COURTYARD AREA. FOR DETAILS SEE ARCHITECT PLANS.
- 10 NOT USED.
- 11 TRANSFORMER BOLLARD SPACING SHOWN FOR REFERENCE. CONTRACTOR TO REFER TO DUKE ENERGY STANDARDS FOR EQUIPMENT PROTECTION AND CONCRETE BOLLARD PLACEMENT.
- 12 CONNECT PROPOSED WALK TO EXISTING WALK AND MATCH EXISTING ELEVATION.
- 13 TRANSFORMER, GENERATOR PAD. PAD DIMENSIONS AND CONCRETE SECTION SHALL BE DESIGN TO MEET ELECTRICAL MANUFACTURER'S REQUIREMENTS.
- 14 BEGIN 6" CURB / WALK REVEAL.
- 15 BEGIN FLUSH CURB / WALK.
- 16 4" WIDTH CONCRETE WALK.
- 17 5" WIDTH CONCRETE WALK.
- 18 8" WIDTH CONCRETE WALK.
- 19 MATCH PROPOSED ASPHALT TO EXISTING ASPHALT ELEVATION IF STRAIGHT JOINT DOES NOT EXIST. SAWCUT EXISTING PAVEMENT EDGE WHERE IT MEETS PROPOSED PAVEMENT TO CREATE A STRAIGHT JOINT. APPLY CDDOT ITEM 407 JACK COAT TO VERTICAL SURFACE OF EXISTING ASPHALT. MATCH PROPOSED ASPHALT AND COVER THE JOINT WITH SEALANT PER CDDOT SPECIFICATION 702.13.
- 20 MATCH PROPOSED CURB TO EXISTING CURB.
- 21 RAISE EXISTING IRRIGATION CONTROL VALVE COVER TO PROPOSED GRADE. SEE GRADING PLAN SHEET C150 FOR DETAILS.
- 22 INSTALL POROUS PAVERS TO BE FLUSH WITH PROPOSED ASPHALT PAVEMENT ELEVATION. SEE SHEET C160 FOR DETAILS.
- 23 PROPOSED EMERGENCY EGRESSES.
- 24 PROPOSED WALL TO BE DESIGNED BY OTHERS. SUCH AS FOR REFERENCE ONLY. CONTRACTOR TO INSTALL ALAN BLOCK WALL WITH RAILING OR APPROVED EQUAL. FOR ELEVATION DETAILS SEE GRADING PLAN SHEET C150.
- 25 REMOVE CURB TO CLOSEST JOINT AND REPLACE WITH FULL HEIGHT CURB AND GUTTER PER BUTLER COUNTY STANDARDS.

**LOCATION GENERAL NOTES:**

- A. DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED.
- B. ALL STANDARD PARKING SPACES ARE 8' x 18'.



**811**  
 Know what's below.  
 Call before you dig.



**UTILITY PLAN LEGEND:**

- (TS) STORM SEWER STRUCTURE
- (SS) SANITARY SEWER STRUCTURE
- (W) WATER APPURTENANCE NOTE
- (U) UTILITY KEY NOTE

**UTILITY KEY NOTES:**

1. CONNECT TO PROPOSED WATER WITH NEW TAP VALVE AND BRANCH PER BUTLER COUNTY STANDARDS.
2. CONTRACTOR TO STOP PROPOSED UTILITIES 5' OUTSIDE FACE OF PROPOSED BUILDING. FOR BUILDING UTILITY CONNECTION DETAILS REFER TO MECHANICAL PLUMBING PLANS.
3. CONNECT TO EXISTING SANITARY MANHOLE CORE DRILL PER BUTLER COUNTY STANDARDS.
4. WATER METER PIT PER BUTLER COUNTY STANDARDS.
5. CONNECT TO EXISTING SANITARY WITH NEW MANHOLE PER BUTLER COUNTY STANDARDS.
6. CONNECT TO EXISTING STORM WITH NEW STORM MANHOLE.
7. INSTALL NEW 24" OUTLET STRUCTURE TO EX 24" STORM.
8. CONNECT ROOF STORM TO 8" DOWNSPOUT LEADER AS SHOWN. 8" STIM IN - 8" STIM OUT REFER TO ARCHITECTURAL & MECHANICAL PLANS FOR DOWNSPOUT AND ROOF DRAIN DETAILS.
9. SEE MECHANICAL PLANS FOR GREASE INTERCEPTOR DETAILS.
10. 51" LF OF 8" DUCTILE IRON PIPE WATER LINE TO WATER METER.
11. 294' LF OF 8" DUCTILE IRON PIPE FIRE SERVICE.
12. 70' LF OF 6" DUCTILE IRON PIPE FIRE SERVICE.
13. 291' LF OF 6" DUCTILE IRON PIPE FIRE SERVICE.
14. 575' LF OF 3" DUCTILE IRON PIPE DOMESTIC SERVICE.
15. CONTRACTOR TO STOP PROPOSED WATERLINE UNDERNEATH STORM SEWER AND MAINTAIN 8" OF CLEARANCE FROM BOTTOM OF STORM PIPE TO TOP OF WATER PIPE.
16. REFER TO ELECTRICAL PLANS FOR GENERATOR AND TRANSFORMER DE TALS.
17. ADJUST RIGIDATION CONTROL VALVE LIDS TO PROPOSED GRADE. SEE GRADING PLAN SHEET C150 FOR PROPOSED ELEVATION DETAIL.
18. CONNECT TO EXISTING STORM SEWER WITH NEW CATCH BASIN.
19. CONNECT TO PROPOSED SANITARY MAIN WITH WVE PER BUTLER COUNTY STANDARDS.

**WATER APPURTENANCE NOTES:**

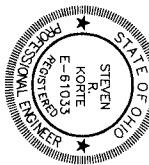
1A	8" 45.00' BEND
1B	WATER METER PIT NORTH CORNER
1C	WATER METER PIT NORTH CORNER
1D	8" 33.75' BEND
1E	8" 33.75' BEND
1F	8" X 8" 8' TEE
1G	8" 45.00' BEND
1H	8" 45.00' BEND
1I	FIRE HYDRANT & W.V. ASSEMBLY
1J	3" 22.50' TOTAL BEND
1K	8" 22.50' TOTAL BEND
1L	3" 45.00' TOTAL BEND
1M	8" 45.00' TOTAL BEND
1N	3" 22.50' BEND
1O	8" 22.50' BEND
1P	8" 1.5' X 8' TEE
1Q	FIRE HYDRANT & W.V. ASSEMBLY
1R	3" 45.00' BEND
1S	8" 45.00' BEND
1T	3" 45.00' BEND
1U	6" 45.00' BEND

**UTILITY GENERAL NOTES:**

1. CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITIES BEFORE CONSTRUCTION.



**THE KLEINGERS GROUP**  
 CIVIL ENGINEERING  
 1992 Camp Park Rd.  
 West Chester, OH 45380  
 513.775.7851  
[www.kleingers.com](http://www.kleingers.com)



NO. DATE DESCRIPTION  
 1 6/12/2015 PRELIMINARY P.L.D. - MAJOR MOD.  
 2 6/16/2015 FINAL P.L.D.

SCALE: 1" = 30'  
 0 15 30 60  
**UTILITY PLAN**  
 SHEET NO. **C140**  
**FINAL P.U.D.**  
**CLARITY POINTE**  
**MEMORY CARE**  
 SECTION 7, TOWN 3, RANGE 3  
 LIBERTY TOWNSHIP  
 BUTLER COUNTY, OHIO  
 FOR HERITAGE DEVELOPMENT PARTNERS,  
 LLC  
 PROJECT NO. 1502725.000  
 DATE: 8/4/15

**811**  
 Know what's below.  
 Call before you dig.

**Ohio Utilities Protection Service**  
 811 or 1-800-487-3874  
 Call before you dig.



**THE KLEINGERS GROUP**  
 CIVIL ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE  
 www.kleingers.com  
 6305 Centre Park Dr., West Chester, OH 45689  
 (513) 771-1251



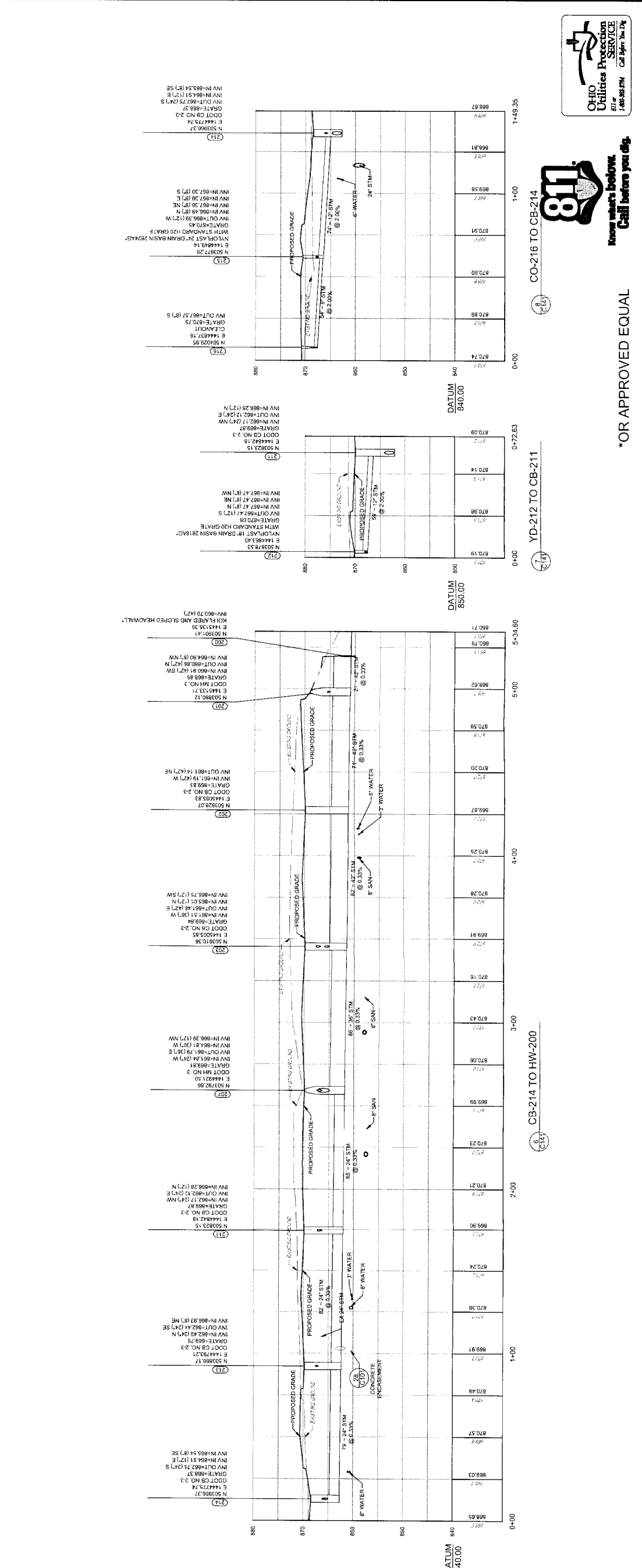
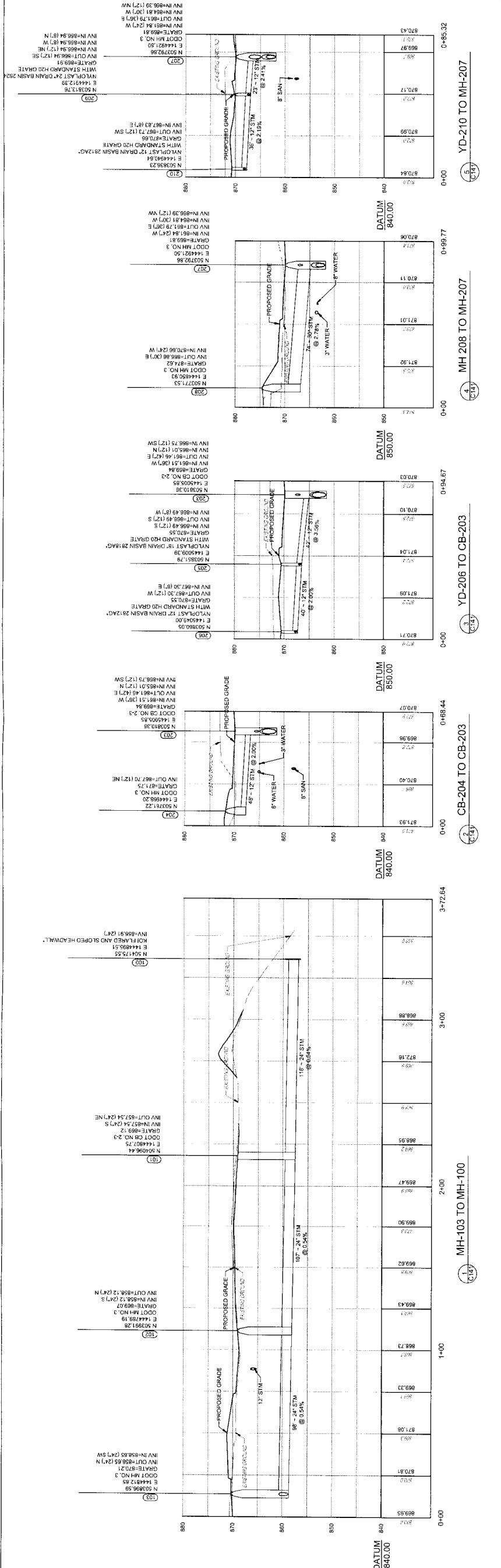
NO. DATE DESCRIPTION  
 1 8/12/2015 PRELIMINARY P.L.D. - MAJOR MOD  
 2 8/12/2015 FINAL P.L.D.

**FINAL P.U.D.**  
**CLARITY POINTE**  
**MEMORY CARE**  
 SECTION 2, TOWN & RANGE 3  
 LIBERTY TOWNSHIP  
 BUTLER COUNTY, OHIO  
 FOR: HERITAGE DEVELOPMENT PARTNERS, LLC

PROJECT NO: 150275.000  
 DATE: 8/14/15

SCALE: H: 1" = 30' V: 1" = 10'  
 V 0 5 10 20  
 H 0 15 30 60

SHEET NAME: STORM SEWER PROFILES  
 SHEET NO: C141



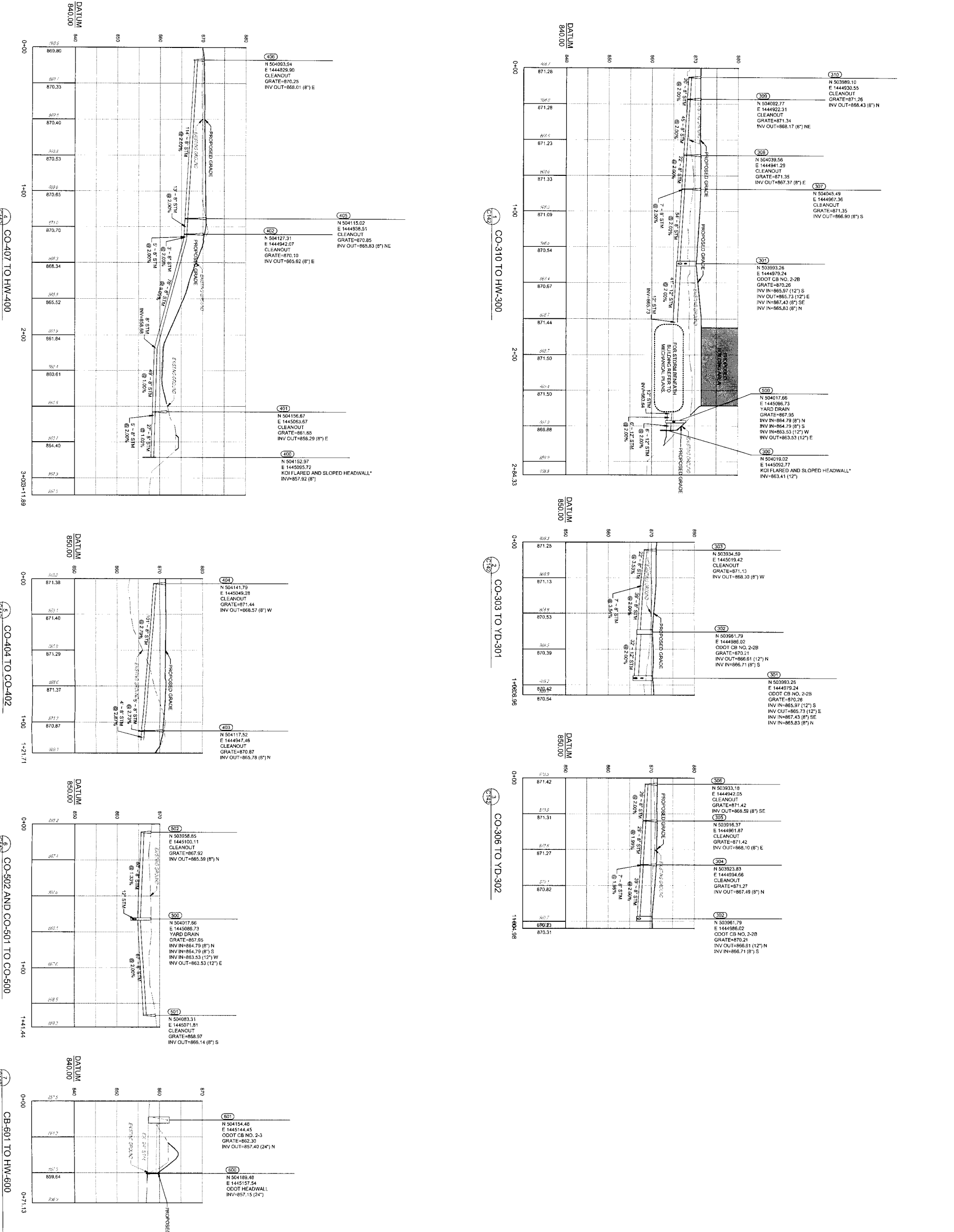
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**MH-103 TO MH-104**  
 C141

0+00 1+00 2+00 3+72.64  
**CB-204 TO CB-214**  
 C141

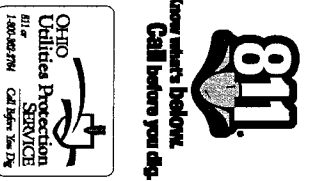


Know what's below.  
 Call before you dig.

\*OR APPROVED EQUAL



\*OR APPROVED EQUAL

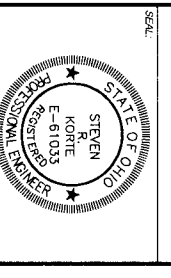


**FINAL P.U.D.**  
**CLARITY POINTE**  
**MEMORY CARE**  
 SECTION 7, TOWN 3, RANGE 3  
 LIBERTY TOWNSHIP  
 BUTLER COUNTY, OHIO  
 FOR HERITAGE DEVELOPMENT PARTNERS,  
 LLC

PROJECT NO: 1502725.000  
 DATE: 8/4/15  
 SCALE: H: 1" = 30' V: 1" = 10'  
 SHEET NO: **C142**

**STORM SEWER PROFILES**

NO. DATE DESCRIPTION  
 1 6/22/15 PRELIMINARY P.L.D. - MAJOR MOD  
 2 8/12/15 FINAL P.L.D.



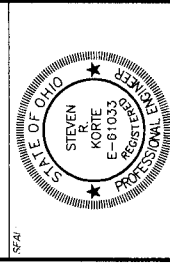
**THE KLEINGERS GROUP**

CIVIL ENGINEERING  
 SURVEYING  
 LANDSCAPE ARCHITECTURE

www.kleingers.com  
 3900 Camp Run Dr  
 Finders Creek, OH 45089  
 513.778.7251



**CIVIL ENGINEERING**  
**LANDSCAPE ARCHITECTURE**  
 6306 County Park Dr.  
 West Chester, OH 45689  
 513.770.1651  
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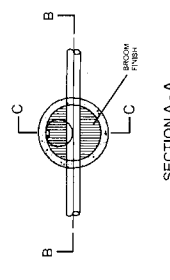
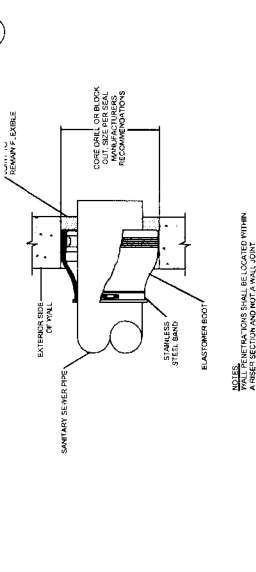
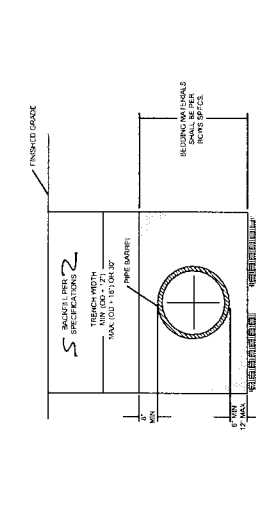
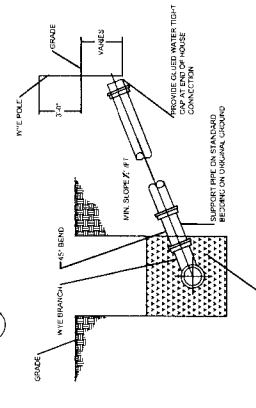
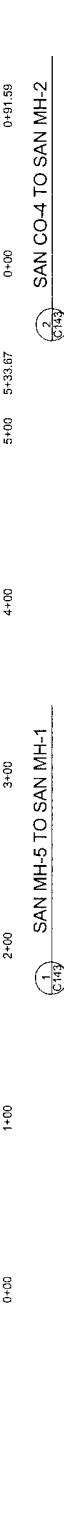
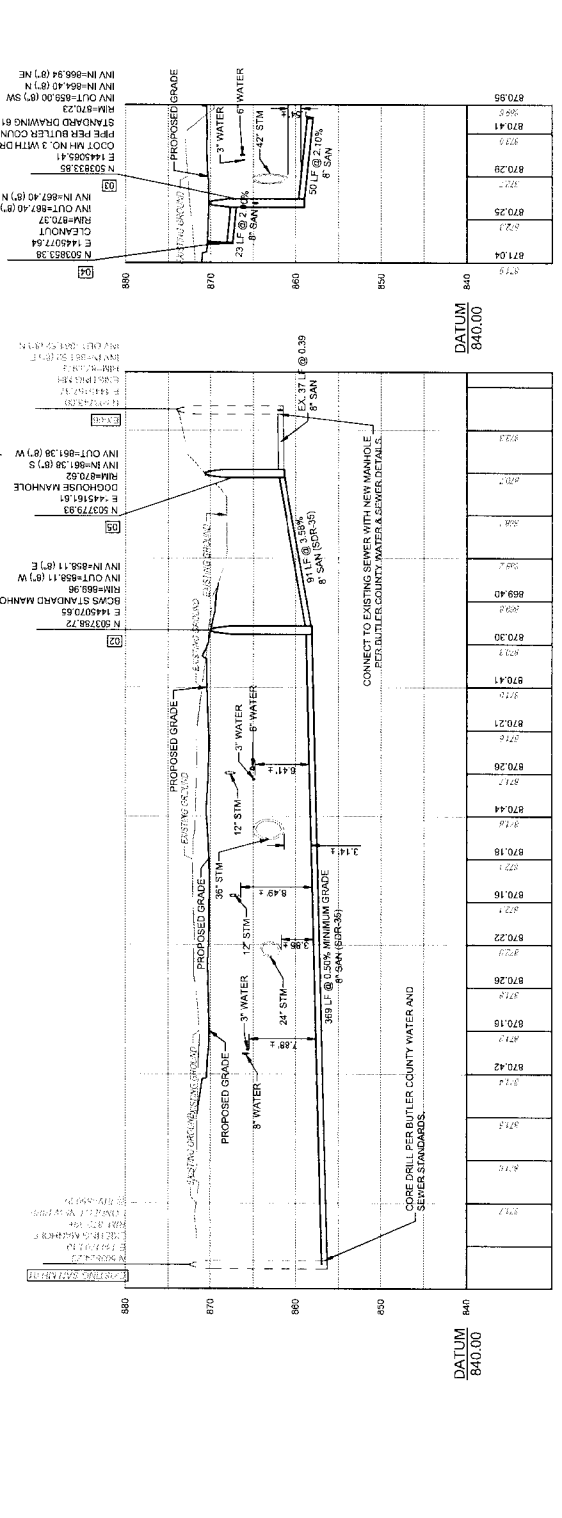
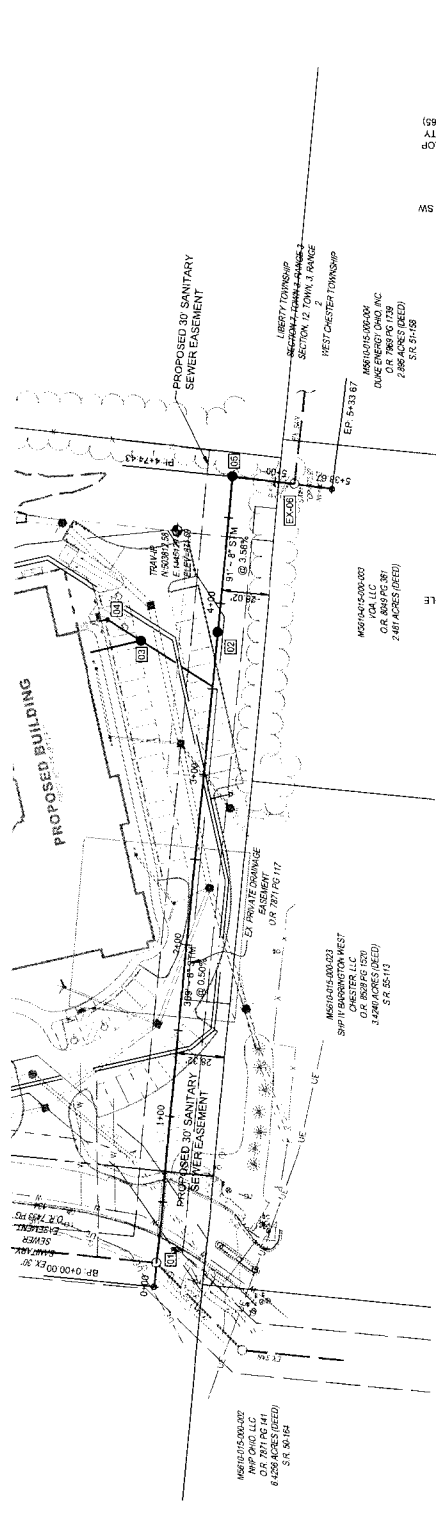


NO DATE DESCRIPTION  
 1 8/12/2015 PRELIMINARY P.U.D. - MAJOR MOD.  
 2 8/14/2015 FINAL P.U.D.

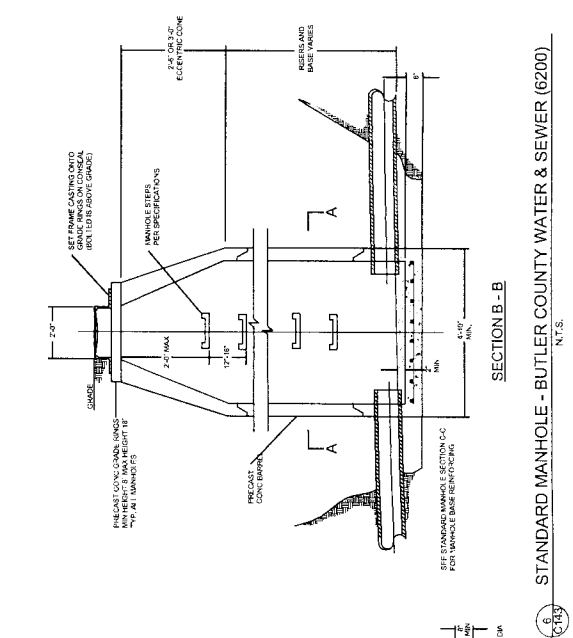
**FINAL P.U.D.**  
**CLARITY POINTE**  
**MEMORY CARE**  
 SECTION 2, TOWN 3, RANGE 3  
 LIBERTY TOWNSHIP  
 BUTLER COUNTY, OHIO  
 FOR: HERITAGE DEVELOPMENT PARTNERS, LLC

PROJECT NO: 150275.000  
 DATE: 8/14/15  
 SCALE: H: 1" = 50' V: 1" = 10'  
 V 0 5 10 20  
 H 0 25 50 100

SHEET NAME: **SANITARY SEWER PROFILES**  
 SHEET NO: **C143**

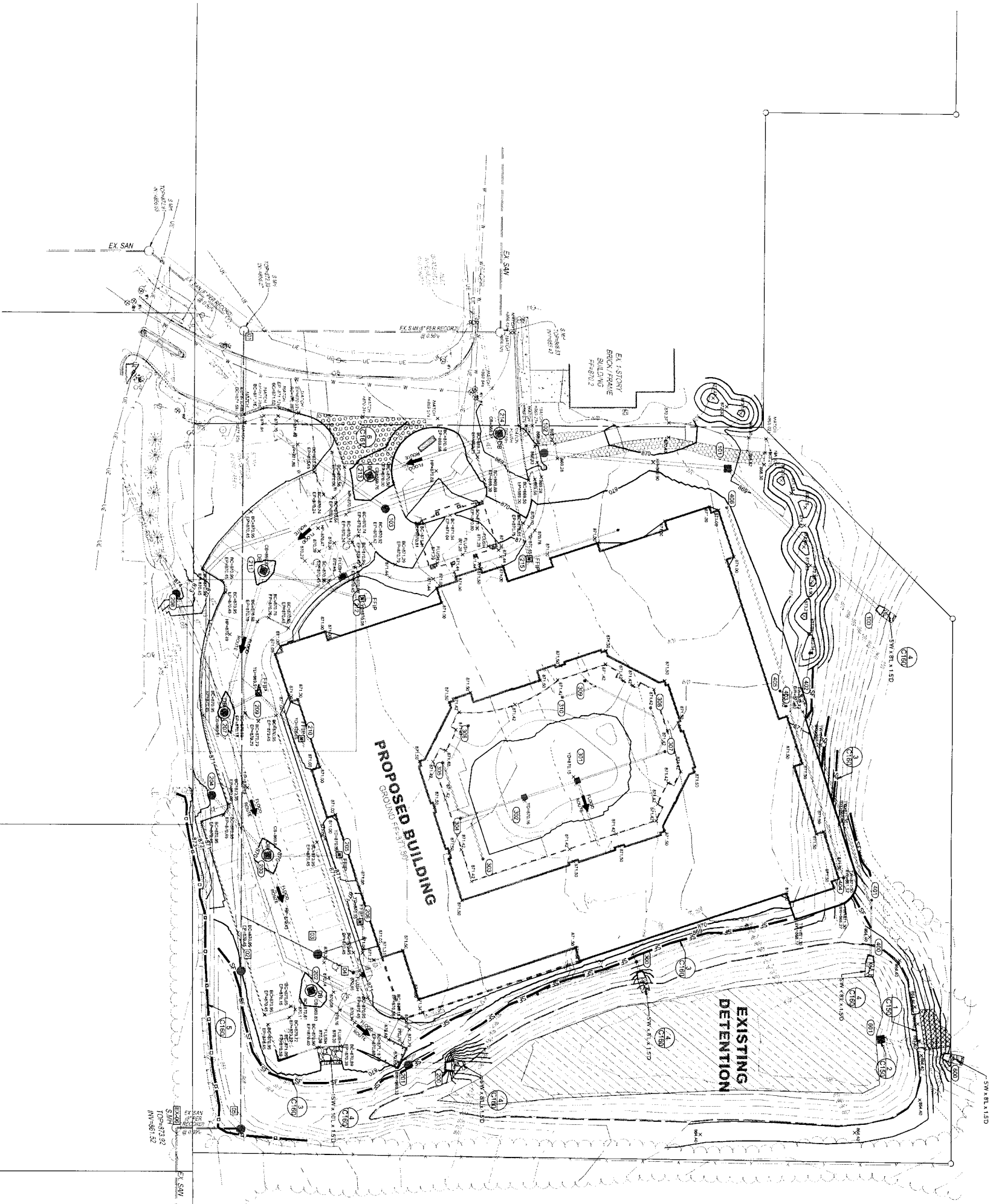


ITEM	QUANTITY	UNIT	PRICE	TOTAL
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3.00	1.00	EA	150.00	150.00
4.00	1.00	EA	100.00	100.00
5.00	1.00	EA	100.00	100.00
6.00	1.00	EA	100.00	100.00
7.00	1.00	EA	100.00	100.00
8.00	1.00	EA	100.00	100.00
9.00	1.00	EA	100.00	100.00
10.00	1.00	EA	100.00	100.00



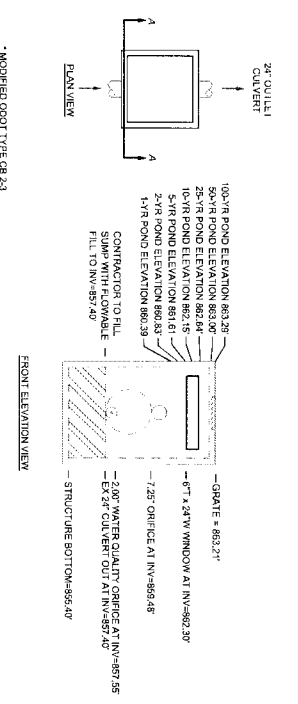
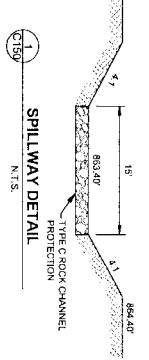
**BUTLER COUNTY SEWER NOTES**  
 SEE GENERAL NOTES SHEET C100 FOR BUTLER COUNTY WATER AND SEWER GENERAL NOTES



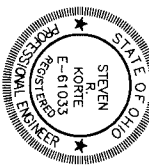
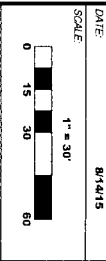


**GRADING PLAN LEGEND:**

- 1. DANDY BAG SEE DETAIL
- 2. FILTER FABRIC MESH PROTECTION
- 3. SILT FENCE
- 4. ROOT ROCK CHANNEL PROTECTION
- 5. TREE PROTECTION
- 6. CONSTRUCTION ENTRANCE
- 7. PROPOSED ELEVATION
- 8. EXISTING ELEVATION
- 9. FLOOD FLOOD ROUTE ARROW (IN PIPE)
- 10. FLOOD FLOOD ROUTE ARROW (OVERLAND)
- 11. BACK OF CURB
- 12. SW/TW BOTTOM & TOP OF WALL
- 13. EDGE OF PAVEMENT DRAINAGE DIRECTION
- 14. DO NOT DISTURB BOTTOM OF DETENTION BASIN
- 15. ROOT TYPIC B70 TEMPORARY EMISSION CONTROL WAITING



1. DETENTION CONTROL STRUCTURE (CB-601) N.T.S.



NO. DATE DESCRIPTION  
 1 8/12/2015 PRELIMINARY P.L.D. - MAJOR MOD.  
 2 8/12/2015 FINAL P.L.D.

**FINAL P.U.D.**  
**CLARITY POINTE**  
**MEMORY CARE**  
 SECTION 7, TOWN 3, RANGE 3  
 LIBERTY TOWNSHIP  
 BUTLER COUNTY, OHIO  
 FOR HERITAGE DEVELOPMENT PARTNERS,  
 LLC

PROJECT NO: 150275.000  
 DATE: 8/14/15

**GRADING AND EROSION CONTROL PLAN**

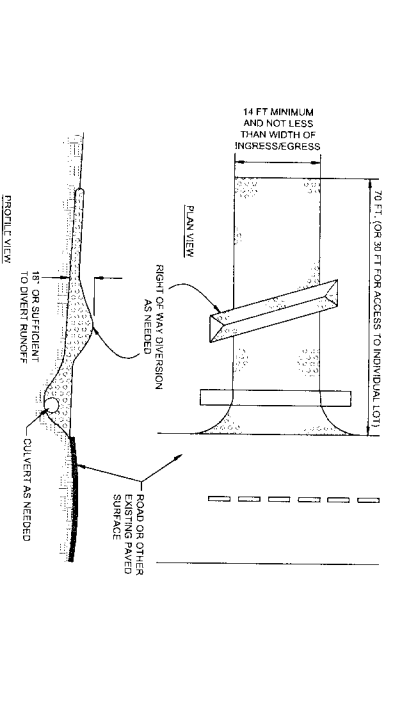
**C150**

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 www.kleingers.com  
 6005 Camp Hill Dr.  
 Columbus, OH 43229  
 614.279.7851

**811**  
 Know what's below.  
 Call before you dig.

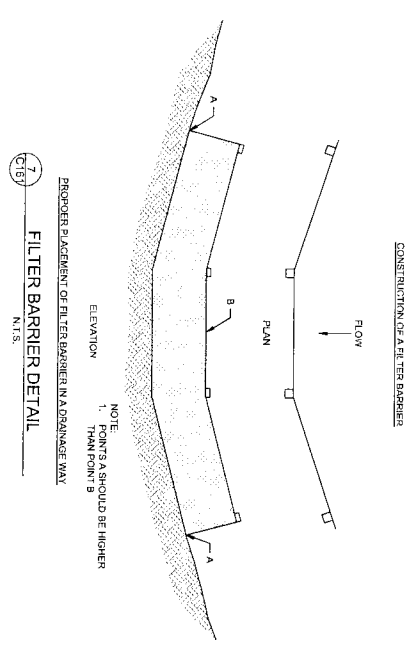
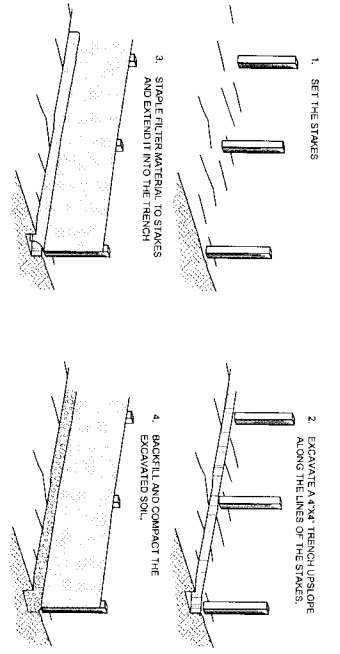
**OHIO**  
 Utilities Protection  
 SERVICE  
 800.487.4877  
 2000 W. 12th Ave.  
 Columbus, OH 43228



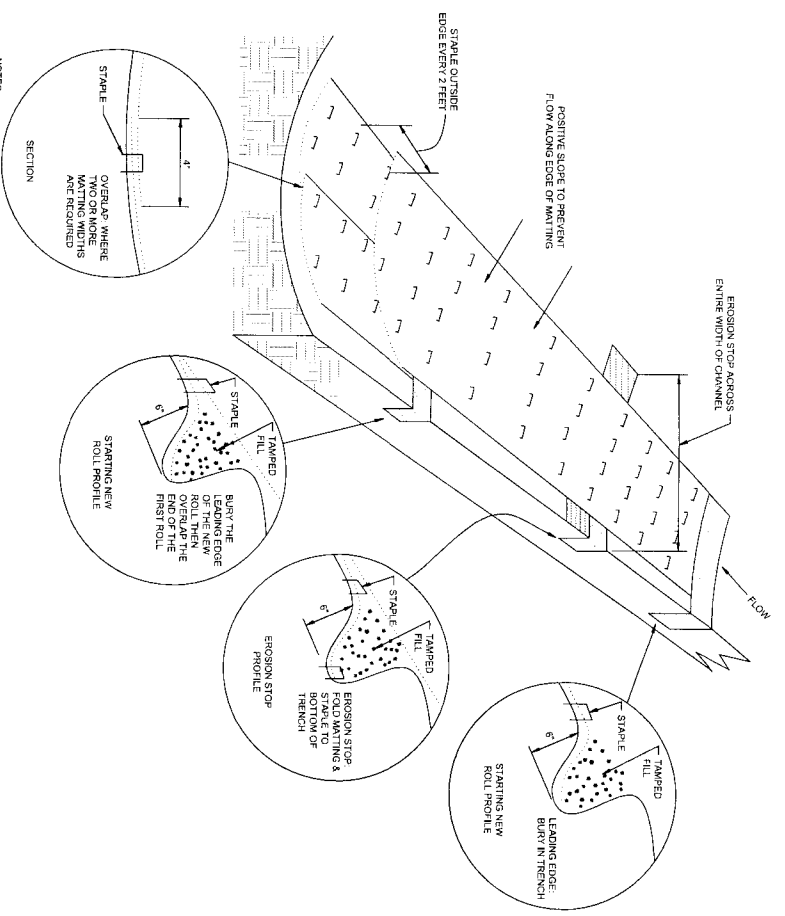


- NOTES
1. STONE SIZE - CANNOT EXCEED 2 1/2 INCH STONE SHALL BE USED OR RECYCLED CONCRETE EQUIVALENT.
  2. LENGTH - THE CONSTRUCTION ENTRANCE SHALL BE AS LONG AS REQUIRED TO STABILIZE HIGH TRAFFIC AREAS BUT NOT LESS THAN 10 FEET MINIMUM AND 50 FT MINIMUM TO SINGLE RESIDENCE (O.T.S).
  3. THICKNESS - THE STONE LAYER SHALL BE AT LEAST 18 INCHES HEAVY DUTY USE.
  4. WIDTH - THE ENTRANCE SHALL BE AT LEAST 14 FEET WIDE BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
  5. GEOTEXTILE - A GEOTEXTILE SHALL BE LAD OVER THE ENTIRE SURFACE OF STONE. IT SHALL BE COMPRESSED OF 20% DURING PROPOSED TRAFFIC AND SHALL MEET THE FOLLOWING SPECIFICATIONS:  
 MINIMUM TENSILE STRENGTH..... 200 LBS  
 MINIMUM PUNCTURE STRENGTH..... 60 LBS  
 MINIMUM TEAR STRENGTH..... 300 LBS  
 MINIMUM ELONGATION..... 60%  
 EQUIVALENT OPENING SIZE..... 60S - 0.8MM  
 PERMEABILITY..... 1X10 CMSEC
  6. TIMING - THE CONSTRUCTION ENTRANCE SHALL BE INSTALLED ACTIVITIES
  7. CULVERT - A PIPE OR CULVERT SHALL BE CONSTRUCTED UNDER THE ENTRANCE IF NEEDED TO PREVENT SURFACE WATER FROM FLOWING ACROSS THE ENTRANCE OR TO PREVENT RUNOFF FROM BEING DIRECTED OUT ON TO PAVED SURFACES.
  8. WATER BAR - A WATER BAR SHALL BE CONSTRUCTED AS PART OF THE CONSTRUCTION ENTRANCE TO PREVENT SURFACE WATER FROM FLOWING ON TO PAVED SURFACES.
  9. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING ON FLOW OF MUD OR OTHER MATERIALS. THIS MAY REQUIRE PERIODIC TOP DRESSING OF STONE OR REPAIRS TO THE ENTRANCE. REPAIRS TO THE ENTRANCE OR TO PAVED SURFACES SHOULD BE MADE AS SOON AS POSSIBLE TO PREVENT TRACKING OF MUD OR OTHER MATERIALS. REPAIRS TO THE ENTRANCE OR TO PAVED SURFACES SHOULD BE MADE AS SOON AS POSSIBLE TO PREVENT TRACKING OF MUD OR OTHER MATERIALS.
  10. CONSTRUCTION ENTRANCE SHALL NOT BE FIELD UPON TO REMOVE MUD OR OTHER MATERIALS THAT ARE TRACKING ON TO PAVED SURFACES. VEHICLES THAT ENTER AND LEAVE THE CONSTRUCTION SITE SHALL BE RESTRICTED FROM MUD OR OTHER MATERIALS.
  11. REMOVAL - THE ENTRANCE SHALL REMAIN IN PLACE UNTIL THE PERMANENT ROADWAY OR ENTRANCE IS PLACED WITH A PERMANENT ROADWAY OR ENTRANCE.

6 CONSTRUCTION ENTRANCE DETAIL N.T.S.



7 FILTER BARRIER DETAIL N.T.S.



- NOTES
1. CHANNEL/SLOPE SOIL PREPARATION GRADE AND COMPACT AREA OF INSTALLATION. PREPARE SEEDBED BY CORRECTING 2\"/>
  2. CHANNEL/SLOPE SEEDING APPLY SEED TO SOIL SURFACE FROM TOP TO BOTTOM OF CHANNEL. SEEDING SHALL BE DONE IN ONE PASS. SEEDING SPECIFICATION FOR SEEDING RECOMMENDATIONS.
  3. CHANNEL INSTALLATION
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8 TEMPORARY ROLL-UP EROSION CONTROL MATTING DETAIL N.T.S.



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NO DATE DESCRIPTION  
 1 6/22/2015 PRELIMINARY P.L.D. - MAJOR MOD.  
 2 8/4/2015 FINAL P.L.D.

SCALE:

PROJECT NO: 150275.000  
 DATE: 8/4/15  
 SCALE: N.T.S.

SHEET NAME: EROSION CONTROL NOTES AND DETAILS  
 SHEET NO: C161

FINAL P.L.D.  
**CLARITY POINTE  
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 SECTION 7, TOWN 3, RANGE 3  
 LIBERTY TOWNSHIP  
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