

ABBREVIATIONS

| | | | |
|----------|-------------------------|------------|-------------------------|
| A.B. | ANCHOR BOLT | GALV. | GALVANIZED |
| A.C. | AIR CONDITIONING | GAL.V.I. | GALVANIZED IRON |
| A.P. | ACCESS PANEL | GYP. | GYP. PLUM. |
| A.T. | ACOUSTIC TILE | H.M. | HOLLOW METAL |
| AC | ACoustic | H.W. | HARDWARE |
| ADJ. | ADJUSTABLE | HOW. | HORIZONTAL |
| A.I.B. | AIR INFLTRATION BARRIER | HT. | HEIGHT |
| ALT. | ALTERNATE | I.D. | INSIDE DIAMETER |
| ALUM. | ALUMINUM | INSUL. | INSULATION |
| ASPH. | ASPHALT | INT. | INTERIOR |
| | | INV. | INVERT |
| BM. | BEAM | JOINT | JOINT |
| BD. | BOARD | K.O. PNL. | KNOCK OUT PANEL |
| BET. | BETWEEN | LAM.P.L.S. | LAMINATED PLASTIC |
| B.C. | BOTTOM CURB | MAX. | MAXIMUM |
| BLDG. | BUILDING | M.C.B. | METAL CORNER BEAD |
| BLDG. | BLOCKING | MECH. | MECHANICAL |
| B.N. | BULL NOSE | MET. | METAL |
| BOT. | BOTTOM | MFR. | MANUFACTURER |
| B.U. | BUILT UP | MIN. | MINIMUM |
| BULL. | BULLETIN | M.O. | MASONRY OPENING |
| C.B.D. | CHALK BOARD | M.S. | MOSAIC |
| CAB. | CABINET | MET.P.S. | METAL PLASTER SCREED |
| C.B. | CATCH BASIN | | |
| CEN. | CEMENT | N.I.C. | NOT IN CONTRACT |
| CER. | CERAMIC | N.T.S. | NOT TO SCALE |
| C.I. | CAST IRON | O.A. | OVERALL |
| C.L. | CELLING | O.C. | ON CENTER |
| COL. | COLUMN | O.D. | OUTSIDE DIAMETER |
| CONC. | CONCRETE | OPNG. | OPENING |
| CONST. | CONSTRUCTION | OPPOS. | OPPOSITE |
| CONT. | CONTINUOUS | PL. | PLATE |
| CONTR. | CONTRACTOR | PLAS. | PLASTER |
| C.S.F.H. | COUNTERSINK FLAT HD. | P.L.WD. | PLYWOOD |
| C.T. | CENTERLINE | P.G.B. | PAINT GRADE BIRCH |
| | CERAMIC TILE | P.T.O. | PAINTED |
| DBL. | DOUBLE | R.D. | ROOF DRAIN |
| DET. | DETAIL | REQD. | REQUIRED |
| DIA. | DIAMETER | REQS. | REQUIREMENTS |
| DIM. | DIMENSION | RES. | RESIN |
| D.S. | DOWNSPOUT | RIB. | RIBERS |
| D.W.G. | DRAWING | R.O. | ROUGH OPENING |
| D.F. | DRINKING FOUNTAIN | S.C. | SOLID CORE |
| DISP. | DISPENSER/DISPOSER | SCHED. | SCHEDULE |
| E.A. | EACH | SECT. | SECTION |
| E.J. | EXPANSION JOINT | SH. | SHEET |
| E.W. | EACH WAY | SHLAR | SIMILAR |
| ELEV. | ELEVATION | S.A.B. | SOUND ATTENUATION BATTS |
| EL. | ELECTRICAL | S.C. | SPECIFICATIONS |
| ELEC. | ELECTRICAL | SQ. | SQUARE |
| EQ. | EQUAL | S.S. | STAINLESS STEEL |
| E.W.C. | ELEC. WATER COOLER | STL. | STEEL |
| EXIST. | EXISTING | SUSP. | SUSPENDED |
| EXT. | EXTERIOR | SYMETRICAL | SYMETRICAL |
| EXP. | EXPANSION | T. | TREAS |
| FDN. | FOUNDATION | T.B.D. | TACK BOARD |
| F.E. | FIRE EXTINGUISHER | T.J. | TOOL JOINT |
| F.E.C. | FIRE EXT. CABINET | TYP. | TYPICAL |
| FIB CEM. | FIBER CEMENT | T.C. | TOP CURB |
| F.O.S. | FACE OF STUD | U.N.O. | UNLESS NOTED OTHERWISE |
| F.O.M. | FACE OF MASONRY | V.B. | VAPOR BARRIER |
| F.L.D. | FLOOR DRAIN | VERT. | VERTICAL |
| F.H.C. | FIRE HOSE CABINET | W. | WITH |
| FIN. | FINISH | WD. | WOOD |
| FL. | FLOOR | W.R. | WATER RESISTANT |
| F.T. | FIRE TREATED | | |
| FTG. | FOOTING | | |
| G.L.B. | GLUED LAMINATED BEAM | | |
| GA. | GAUGE | | |

Chesterwood Village Assisted Living Facility

PHASE 2: LIGHT CARE ASSISTED LIVING

WEST CHESTER TWP., BUTLER COUNTY, OHIO

DESIGN RELEASE #1-

CONSTRUCTION DOCUMENTS

JANUARY 23, 2007

HILLANDALE COMMUNITIES

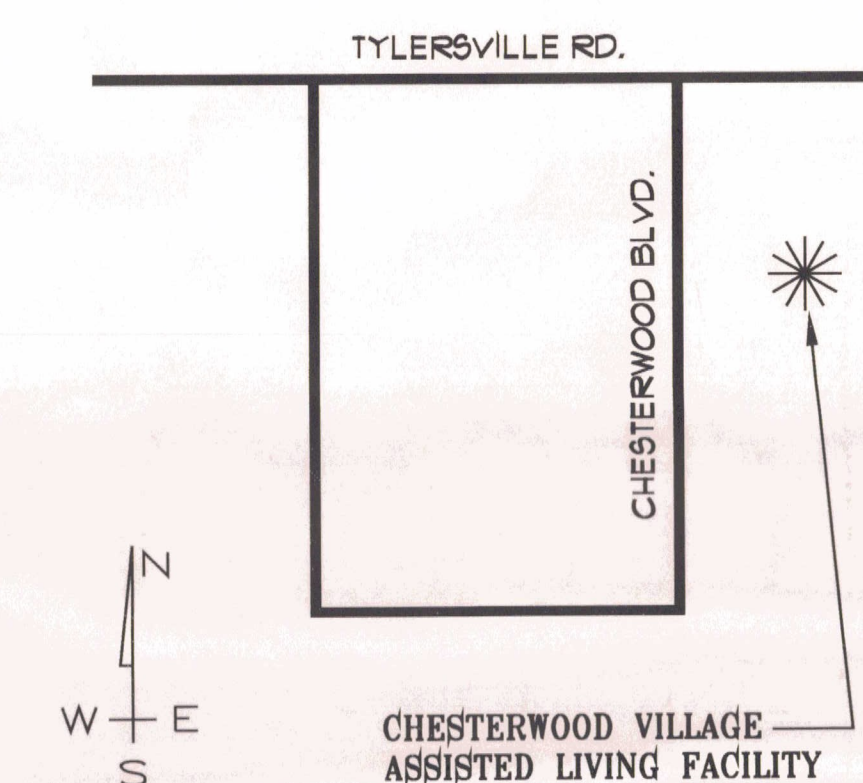
8073 TYLERSVILLE ROAD WEST CHESTER, OHIO 45069

APPROVAL

SIGNATURE

DATE

VICINITY MAP



SYMBOLS

| FLOOR PLAN | SECTION OR DETAIL |
|------------------------------------|--------------------|
| 100 ROOM NUMBER | PLYWOOD |
| DOOR NUMBER | GYP. BOARD |
| WINDOW TYPE | BATT INSULATION |
| WALL TYPE | RIGID INSULATION |
| KITCHEN EQUIPMENT | GYP. CRETE |
| | ACOUSTIC TILE |
| SECTION OR DETAIL 'A' ON SHEET 6.2 | METAL |
| BRICK VENEER | ROUGH LUMBER |
| CONCRETE BLOCK | FINISH WOOD |
| WOOD STUDS | CONCRETE |
| | EARTH OR SUB. BASE |

STRUCTURAL ENGINEER: JEZERINAC GEERS & ASSOCIATES, INC.
5640 FRANTZ ROAD DUBLIN, OHIO 43017 (614) 766-0066

MECH./ELEC. ENGINEER: HILL ENGINEERING
3 WEST CENTRAL AVE., DELAWARE, OHIO 43015 (740) 363-0400



GENERAL NOTES

EXTERIOR DIMENSIONS ARE TYPICALLY FROM FACE OF SHEATHING TO FACE OF SHEATHING OR FACE OF SHEATHING TO CENTERLINE OF STRUCTURAL.

INTERIOR DIMENSIONS ARE FROM FACE OF MASONRY OR FACE OF STUD TO FACE OF STUD OR MASONRY

UNLESS NOTED OTHERWISE (U.N.O.), CONTRACTORS SHALL VERIFY ALL DIMENSIONS PRIOR TO BEGINNING WORK, AND NOTIFY ARCHITECT FOR RESOLUTION OF ANY DISCREPANCIES.

DOOR NUMBERS ARE THE SAME AS THE ROOM SERVED. ROOMS W/ MULTIPLE DOORS ARE LABELED "A", "B", "C", ETC...

CALL RESPECTIVE UTILITIES BEFORE STARTING SITE WORK. COORDINATE RELOCATION OF UNDERGROUND ELECTRIC & TELEPHONE WITH OWNER AND UTILITIES COMPANIES

CONTRACTORS ARE REQUIRED TO INSPECT THE SITE PRIOR TO BIDDING TO ASCERTAIN ALL ITEMS IN EVIDENCE THAT MUST BE ADDRESSED IN COMPLETION OF THE WORK AND INCLUDE THE COST OF THE REQUIRED WORK IN THEIR BID.

CONTRACTORS SHALL VERIFY ALL FIELD AND DESIGN CONDITIONS PRIOR TO BEGINNING WORK. NOTIFY THE ARCHITECT OF DISCREPANCIES FOR RESOLUTION.

PROVIDE FIRE STOPS AT ALL SOFFITS @ 20" O.C.

INDEX OF DRAWINGS

| | |
|---|---|
| 0-1 COVER SHEET | Architectural: |
| 0-2 BUILDING CODE INFO/SUMMARY & RATED FIRE SEPARATIONS | 1-0 UNIT PLAN - TYPE 'B' PLANS, SCHEDULES |
| Site: | 1-1 EXTERIOR BUILDING ELEVATIONS |
| 1-01 PROPOSED STAGING | 1-2 BUILDING SECTIONS |
| 1-02 EXISTING SITE CONDITIONS | 1-3 MAIN STREET WALL SECTIONS 3/4" x 1'-0" |
| 1-03 SITE DEMOLITION PLANS | 1-4 MAIN STREET WALL SECTIONS 3/4" x 1'-0" |
| 1-04 OVERALL SITE PLAN 1" x 30'-0" | 1-5 MAIN STREET WALL SECTIONS 3/4" x 1'-0" |
| 1-05 NORTH AND SOUTH PARKING PLANS | 1-6 MAIN STREET WALL SECTIONS 3/4" x 1'-0" |
| 1-06 COURTYARD LAYOUT AND WALKS | 1-7 MAIN STREET WALL SECTIONS 3/4" x 1'-0" |
| 1-07 SITE AREA GRADING/STORM WATER PLAN AND DETAILS | 1-8 MAIN STREET WALL SECTIONS 3/4" x 1'-0" |
| 1-08 EROSION CONTROL DETAILS | 1-9 MAIN STREET WALL SECTIONS 3/4" x 1'-0" |
| 1-09 SITE SANITARY AND DETAILS | 1-10 MAIN STREET WALL SECTIONS 3/4" x 1'-0" |
| 1-10 SITE DETAILS | 1-11 MAIN STREET WALL SECTIONS 3/4" x 1'-0" |
| 1-11 WATERLINE PROFILE | 1-12 MAIN STREET WALL SECTIONS 3/4" x 1'-0" |
| 1-12 PARTIAL DEMOLITION | 1-13 MAIN STREET WALL SECTIONS 3/4" x 1'-0" |
| Landscape: | 1-14 MAIN STREET WALL SECTIONS 3/4" x 1'-0" |
| L-1 LANDSCAPE AREA PLANS AND COURTYARD LANDSCAPE PLAN | |

| | | | |
|---|---|---|--|
| 3-0 WING B, BASEMENT FLOOR PLAN - 1/8" x 1'-0" ELEVATOR LOBBY PLAN - 1/4" x 1'-0" | 3-11 UNIT PLAN - TYPE 'B' PLANS, SCHEDULES | 5-1 EXTERIOR BUILDING ELEVATIONS | 7-4 3RD FLR - WINGS A4B RCP PLAN 1/8" x 1'-0" |
| 3-1 MAIN STREET FLOOR PLAN 1/8" x 1'-0" | 3-12 UNIT PLAN - TYPE 'C' PLANS, SCHEDULES | 5-1A EXTERIOR BUILDING ELEVATIONS BUILDING SECTIONS | 7-5 BASE BID MAIN STREET CEILING CONCEPT #1 ALTERNATE G-3; CONCEPT #2 CLING/LIGHTING WITH SOLAR SHADE FABRIC |
| 3-2 FIRST FLOOR PLAN - WINGS A4B 1/8" x 1'-0" | 3-13 UNIT PLAN - TYPE 'D' PLANS, SCHEDULES | 5-2 BUILDING SECTIONS - MAIN STREET | 7-6 MAIN STREET CEILING CONCEPT #2 ALTERNATE G-4; CONCEPT #3 CLING/LIGHTING WITH SOLAR SHADE FABRIC |
| 3-3 SECOND FLOOR PLAN - WINGS A4B 1/8" x 1'-0" | 3-14 INTERIOR DETAILS - 1ST FLR FIREPLACE MISC. DETAILS | 5-3 WALL SECTIONS & DETAILS | |
| 3-3A CLERESTORY # MAIN STREET PLAN 1/8" x 1'-0" | 3-15 INTERIOR DETAILS - 2ND/3RD FLR FIREPLACE MISC. DETAILS | 5-4 BUILDING SECTIONS - MAIN STREET | |
| 3-4 THIRD FLOOR PLAN - WINGS A4B 1/8" x 1'-0" | 3-20 OVERALL ROOF PLAN 1" x 20'-0" ROOF PLANS & DETAILS | 5-5 BUILDING SECTIONS - MAIN STREET | |
| 3-5 ENLARGED FLOOR PLANS 1/4" x 1'-0" FIRST FLOOR COMMONS, MAIN STREET WELLNESS & SERVICE AREA INTERIOR ELEVATIONS | 4-1 DOOR DETAILS | 5-6 BUILDING ELEV AND SECTIONS - MAIN STREET | |
| 3-6 ENLARGED FLOOR PLANS 1/4" x 1'-0" DINING & DINER AREA INTERIOR ELEVATIONS | 4-2 DOOR SCHEDULE, DOOR TYPES & DETAILS | | |
| 3-7 STANDARD DETAILS & MISC. DETAILS | 4-3 WINDOW ELEVATION SCHEDULE & LOUVERS | | |
| 3-8 ENLARGED FLOOR PLANS 1/4" x 1'-0" SALON, EXERCISE, TRAVEL OFFICE THEATER BAR & LOBBY, PUBLIC TOILET ROOMS INTERIOR ELEVATIONS & MISC. DETAILS | 4-4 EXTERIOR WINDOW DETAILS | | |
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| 3-10 UNIT PLAN - TYPE 'A' PLANS, SCHEDULES | 4-6 STOREFRONT ELEVATIONS & DETAILS 51 - 53 | | |
| | 4-7 STOREFRONT DETAILS, PERGOLA DETAILS | | |
| | 4-8 STOREFRONT ELEVATIONS & DETAILS 54-56 ALTERNATE STOREFRONT 51 | | |
| | 4-9 TILE PATTERNS | | |

COVER SHEET LIGHT CARE ASSISTED LIVING CHESTERWOOD VILLAGE - PHASE 2 HILLANDALE COMMUNITIES WEST CHESTER, OHIO

DATE: 1-23-07
CHECKED: SC
DRAWN BY: SC
REVISIONS: 5/10/07

RECEIVED MAY 16 2007

JMM ARCHITECTS, INC. 4685 Larwell Drive, Columbus, Ohio 43220 (614) 326-5565

140 BODESTERA PACKAGE

SQUARE FOOTAGES

AREAS: UNIT COUNT & RATIOS

ASSISTED LIVING: PHASE 2: 50 UNITS TOTAL
(LICENSED RESIDENTIAL CARE)
USE I-1, CONSTRUCTION TYPE 5A

PHASE 2: 50 UNITS: 26 (1BR), 12 (2BR), 2 STUDIO
APARTMENT WING A (24 UNITS) 4 WING B (26 UNITS)
MIX DESIGN: 1025 SF (2BR), 608 SF (1BR), 413 SF (STUDIO)
WING A: 22 (1 BDR), 2 (STUDIO)
WING B: 12 (2 BDR), 14 (1 BDR)

OWNER SHALL DESIGNATE 5 UNITS AS ADA COMPLIANT (10%)
EMERGENCY CALL SYSTEMS/STROBES, ADA CABINETRY, DOORS

MAIN STREET
BSMT: SUPPORT SPACES 1,383 SF
APARTMT 1ST FLR: 11 (1 BDR) 4 (2 BDR) 19,234 SF
APARTMT 2ND FLR: 12 (1 BDR) 4 (2 BDR) 1 (STUDIO) 18,028 SF
APARTMT 3RD FLR: 13 (1 BDR) 1 (2 BDR) 1 (STUDIO) 18,492 SF
ALTERATIONS TO EXISTING 1ST FLR: 3,052 SF

TOTAL = 12,422 SF.

*****PORCHES ARE INCLUDED IN BUILDING FOOTPRINT SF*****

DESIGN OCCUPANCY: O.B.C. 1004.1.2

ASSISTED LIVING: USE I-1
12,422 2400 GROSS + 300 OCC. (WORSE CASE)
(MAIN STREET: USE 'A3')

ACTUAL OCCUPANCY: ANTICIPATED

LIGHT CARE ASSISTED LIVING
80 RESIDENTS, 30 STAFF, 50 VISITORS = 160 ACTUAL OCC

ACCESSORY SPACES

| LOCATION | NET AREA FOR USE | OCCUPANCY SIGNAGE |
|-------------------------|--------------------|-------------------|
| MAIN STREET CIRCULATION | 2440 SF. (TO 'A3') | 100 |
| CLUB RM, GAMING | 608 SF. (TO 'A3') | 30 |
| THEATER LOUNGE | 1025 SF. (TO 'A3') | 5 |
| ADMIN-TRAVEL OFFICE | 211 SF. (TO 'A3') | 5 |
| EXERCISE | 310 SF. (TO 'A3') | 12 |
| SALON/BARBER | 393 SF. (TO 'A3') | 12 |
| CHAPEL/ACTIVITY RM. | 1065 SF. (TO 'A3') | 52 |
| THEATER 1ST FLR | 602 SF. (TO 1-1) | 27 |
| THEATER BALCONY | 200 SF. (TO 1-1) | 10 |
| LOBBY 1ST FLR | 540 SF. (TO 1-1) | 20 |
| ACTIVITY RM. 2ND | 540 SF. (TO 1-1) | 20 |
| ACTIVITY RM. 3RD | 540 SF. (TO 1-1) | 20 |
| DINING | 1261 SF. (TO 1-1) | 62 |
| DINER/SALAD BAR | 115 SF. (TO 1-1) | 30 |
| WELLNESS/THERAPY | 1146 SF. (TO 1-1) | 12 |
| TRAINING BED/TOILET RM | 656 SF. (TO 1-1) | 8 |

GENERAL NOTES

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MAIN STREET INTERIOR DIMENSIONS ARE FROM FACE OF SHEATHING

TO FACE OF STUD OR FACE OF SHEATHING TO FACE OF SHEATHING AT WALLS THAT SIMULATE EXTERIOR WALLS

INTERIOR DIMENSIONS ARE FROM FACE OF MASONRY OR FACE OF STUD TO FACE OF STUD OR MASONRY

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PROVIDE FIRE STOPS AT ALL SOFFITS @ 20' O.C.

DOORS AND FRAMES AT F.R.R. WALL SYSTEM

SHALL BE LABELED ACCORDINGLY PER OBC 715.3

FIRE WALL - 2 HR F.R.R. + 90 MIN LABEL
FIRE BARRIERS/EXIT ENCLOSURES/SHAFTS - 1 HR F.R.R. + 60 MIN LABEL
OTHER FIRE BARRIERS - 1 HR F.R.R. + 45 MIN LABEL

FIRE PARTITIONS - 1 HR F.R.R. + 45 MIN LABEL
CORRIDOR WALLS - 1 HR F.R.R. + 30 MIN LABEL
EXTERIOR WALLS - 1 HR F.R.R. + 45 MIN LABEL

TABLE 601

| BLDG. ELEMENT | FULLY SPRINKLERED | | ASSEMBLY LISTING | TYPE 2B | NOTES |
|---------------------------------|----------------------|---------------|------------------------|-------------|---|
| | TYPE 5A | NOTES | | | |
| STRUCTURAL FRAME | 1 HR F.R.R. | WRAPPED STEEL | X526 | 0 HR F.R.R. | |
| BEARING WALLS EXTERIOR | 1 HR F.R.R. | | U356 | 0 HR F.R.R. | MAIN STREET FIRE AREA SHALL BE DESIGNATED USE 'A3' WITH 2HR FIRE SEPARATION BARRIER AS INDICATED BELOW AT DWG 210-2 AND CONSTRUCTION TYPE 2B |
| | 2 HR F.R.R. | | U305 | 0 HR F.R.R. | |
| NON BEARING WALLS EXTERIOR | 1 HR F.R.R. (TO 30') | | U356 | 0 HR F.R.R. | STAIR SHAFTS FIRE WALLS SHAFTWALL CHASES |
| | 2 HR F.R.R. | | U469 | 0 HR F.R.R. | |
| INTERIOR | 2 HR F.R.R. | | N.G.A. WHI 1654-0300.1 | 0 HR F.R.R. | SHAFTWALL HORIZONTAL CHASES |
| | 0 HR F.R.R. | | NA | 0 HR F.R.R. | |
| FLOOR CONSTRUCTION BEAMS/JOISTS | 1 HR F.R.R. | | RC2601 | 0 HR F.R.R. | MULTI-STORY FLOORS (2) LAYERS TYPE "X" 5/8" GYP. BD. 2x10 JOISTS @ 16" O.C. 14" AND UP @ WOOD MEMBER |
| | 2 HR F.R.R. | | L501 | 0 HR F.R.R. | |
| FLOOR BASEMENT | 1 HR F.R.R. | | J501 | 0 HR F.R.R. | PRECAST PLANKS |
| | 2 HR F.R.R. | | RC2601 | 0 HR F.R.R. | |
| ROOF CONSTRUCTION BEAMS/JOISTS | 1 HR F.R.R. | | RC2601 | 0 HR F.R.R. | (2) LAYERS TYPE "X" 5/8" GYP. BD. |
| ROOF MEMBRANE | | | UL F500 | | SINGLE-PLY MEMB. EPDM ROOF SYSTEM W/TAPERED INSUL. 5/8" TYPE "X" EXT. GING. GYP. BD. ON STEEL DECK. 9" BARK JOIST W/5/8" TYPE "X" GYP. BD. AT INT. FACE |

FULLY SPRINKLERED: MATCH EXISTING

BUILDING SHALL BE FULLY SMOKE SPRINKLERED PER NFPA 13 MATCH EXISTING EXISTING SYSTEMS WHERE APPLICABLE. CONTRACTOR TO VERIFY EXISTING CONDITIONS AND PROVIDE NEW SERVICE FIRE RISER SYSTEMS IN DESIGN WITH:

DRY SYSTEM IN ATTIC SPACES AND CONCEALED SPACES.
WET SYSTEM IN HEATED SPACES ONLY - BELOW RATED ASSEMBLIES IN SOFFITS, OR SPLIT CEILING SYSTEMS OVER TOILET ROOMS, BUT BELOW ATTIC ASSEMBLY
WET SYSTEM IS NOT PERMITTED IN ATTIC BELOW ATTIC INSULATION
THE CONTRACTOR SHALL BE RESPONSIBLE FOR SPRINKLER SYSTEM DESIGN AND APPROVAL. ALL PIPING TO BE CONCEALED. ALL HEADS SHALL COMPLY WITH NFPA 13. QUICK RESPONSE CONCEALED @ CEILING CONDITIONS.
SEMI-RECESSED AT SIDE-WALL CONDITIONS.

NOTE: DO NOT PLACE SPRINKLER HEADS WITHIN 18" OF SURFACE MOUNTED LIGHT FIXTURES THAT ARE TYP. CENTERED IN THE CEILING SPACE OF THE ROOM. COORD. TRADES TO AVOID

O.B.C. REQ'S - FIRE AREAS

AREA #1 - MAIN STREET
USE GROUP: A-3
CONSTRUCTION TYPE: TYPE 2B (NON-COMBUSTIBLE)
ACTUAL FLOOR AREA: 7,383 SQ.FT. 1STY
ALLOWABLE AREA PER FLOOR FROM TABLE 503: 9,500 SF (2 STY)

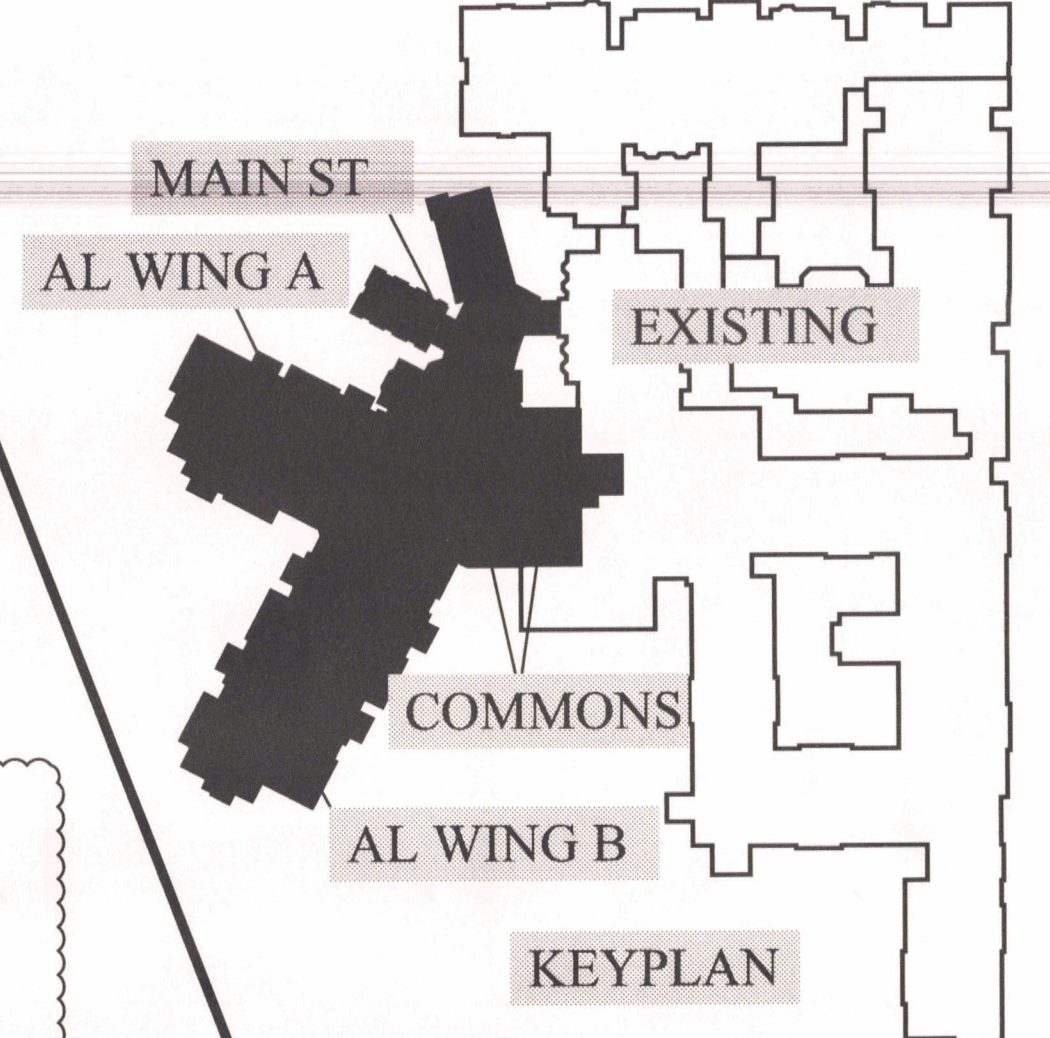
AREA #2 - ASSISTED LIVING RES. CARE LICENSED
USE GROUP: I-1
CONSTRUCTION TYPE: TYPE 5A
ACTUAL FLOOR AREA: 13,246 SQ.FT. FIRST FLOOR
ALLOWABLE AREA PER FLOOR FROM TABLE 503: 10,500 SF (3 STY)
+ 200% DUE TO FULLY SPRINKLERED BUILDING (PER 506.3) = 21,000 SF
31,500 SF

AREA #3 - ASSISTED LIVING RES. CARE LICENSED
USE GROUP: I-1
CONSTRUCTION TYPE: TYPE 5A
ACTUAL FLOOR AREA: 6,608 SQ.FT. FIRST FLOOR
ALLOWABLE AREA PER FLOOR FROM TABLE 503: 10,500 SF (3 STY)

NOTE: TOTAL ALLOWABLE AREA PER FLOOR (AREA #1,2,3 = 31,500 SF)

2 SEPARATE BLDGS: FIRE AREA #1,2 = 20,629 SF
FIRE AREA #3 = 6,608 SF

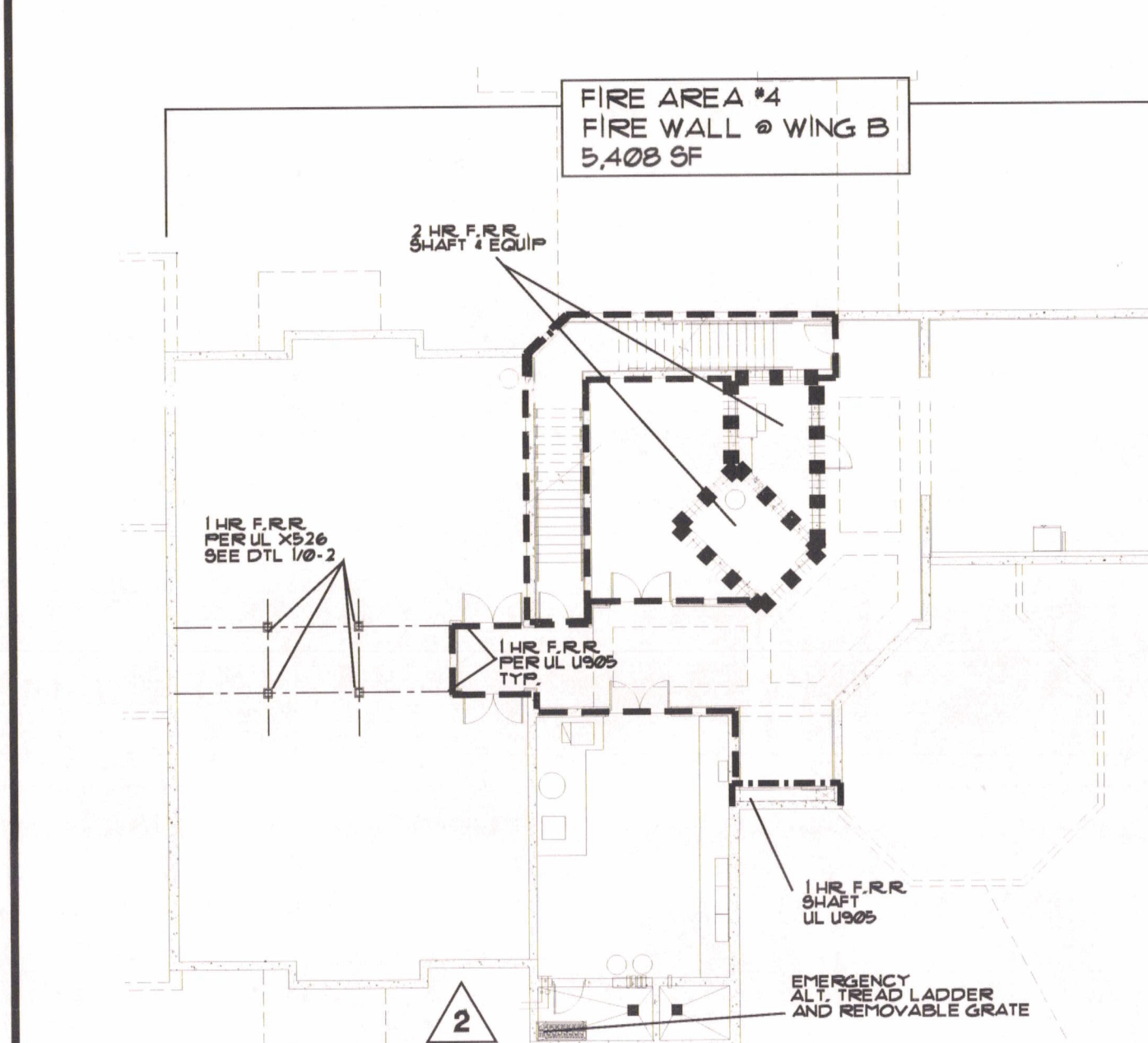
NOTE: USE SEPARATION BETWEEN AREA #1 AND AREA #2
TABLE 302.3.2 REQUIRES 2HR FIRE BARRIER BETWEEN USE 'A3 AND I-1', HOWEVER, PER OBC 302.3.2 EXCEPTION 1, BARRIER RATING CAN BE DROPPED TO 1HR F.R.R. FOR THESE USE GROUPS.



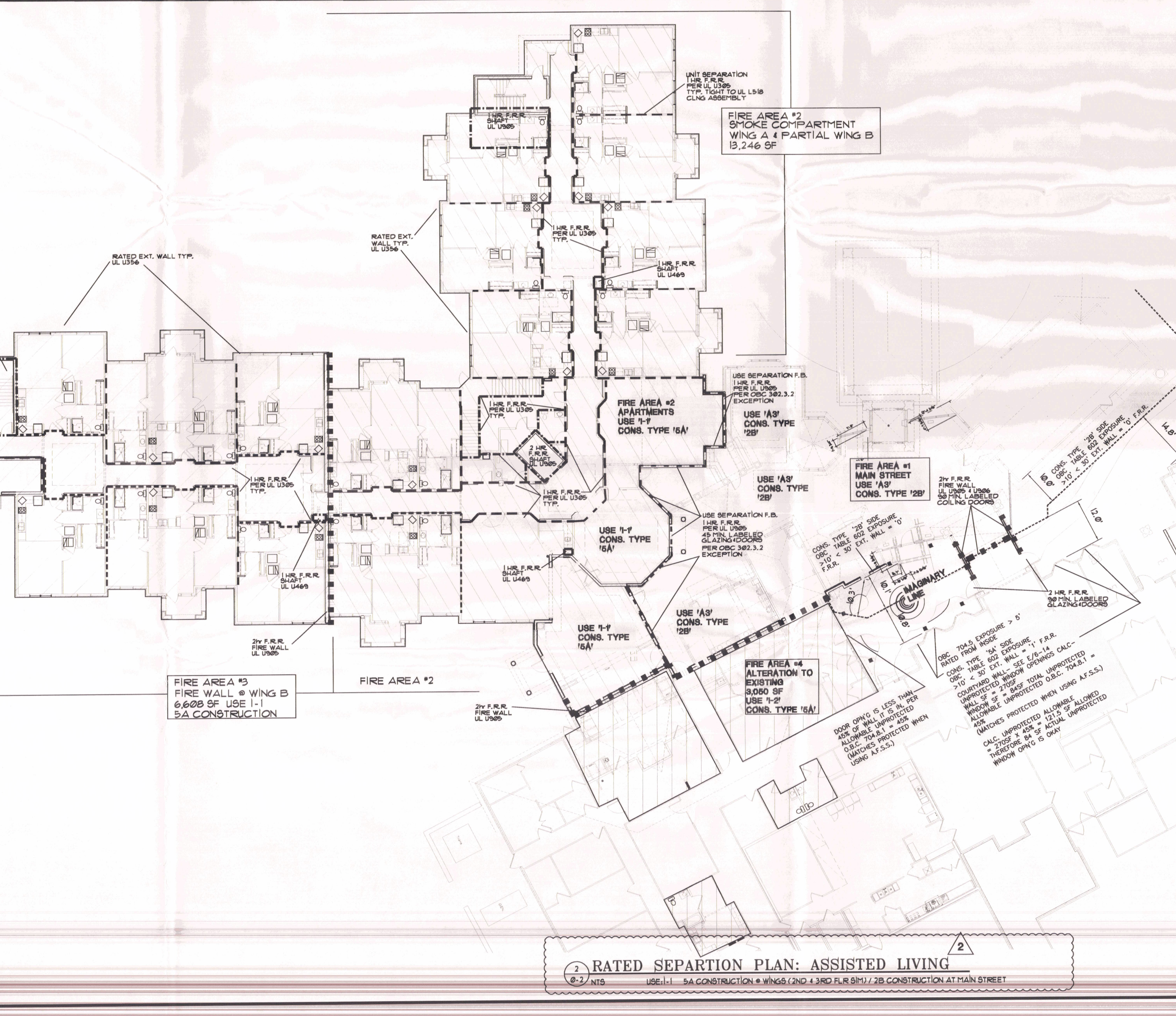
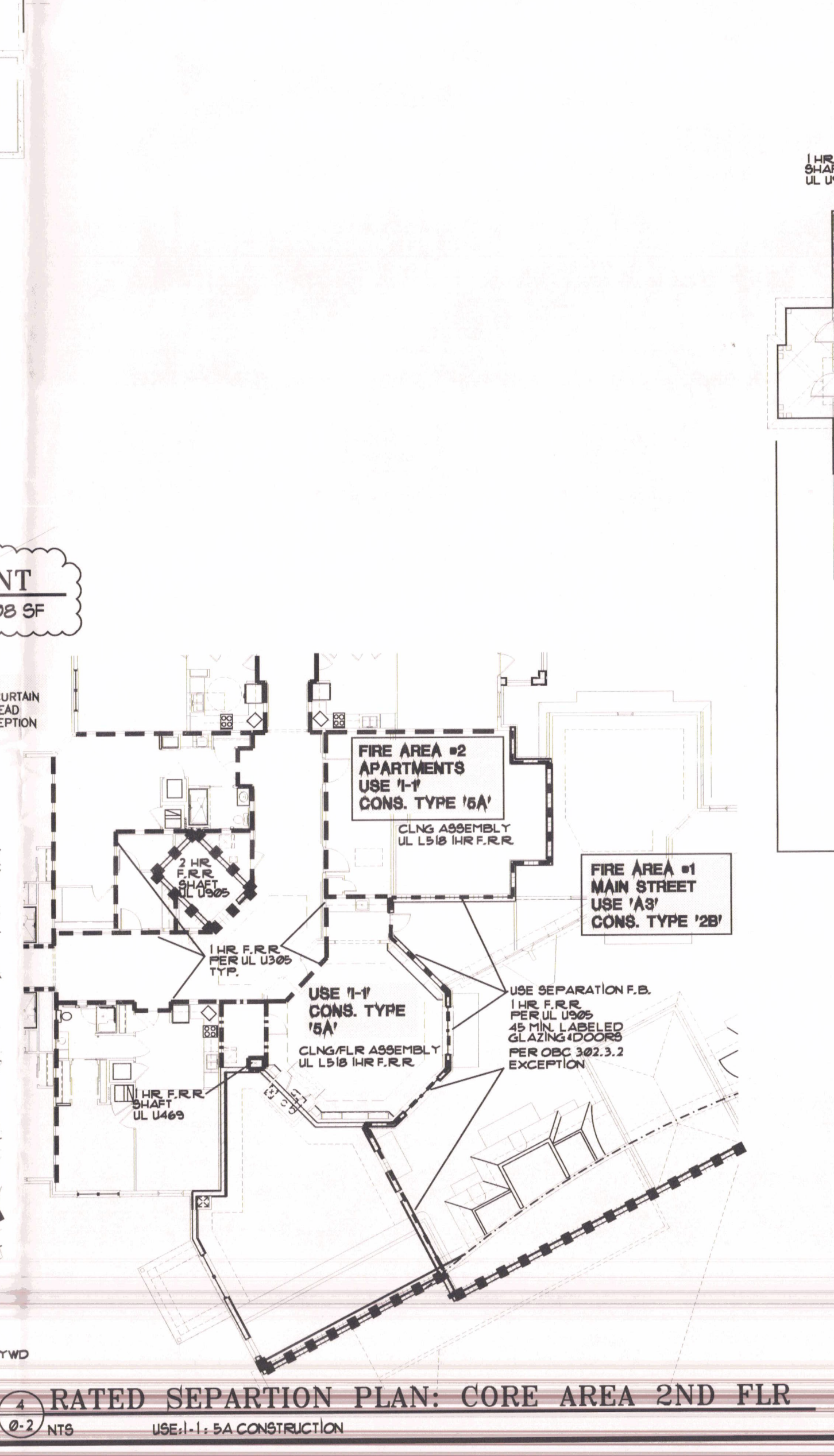
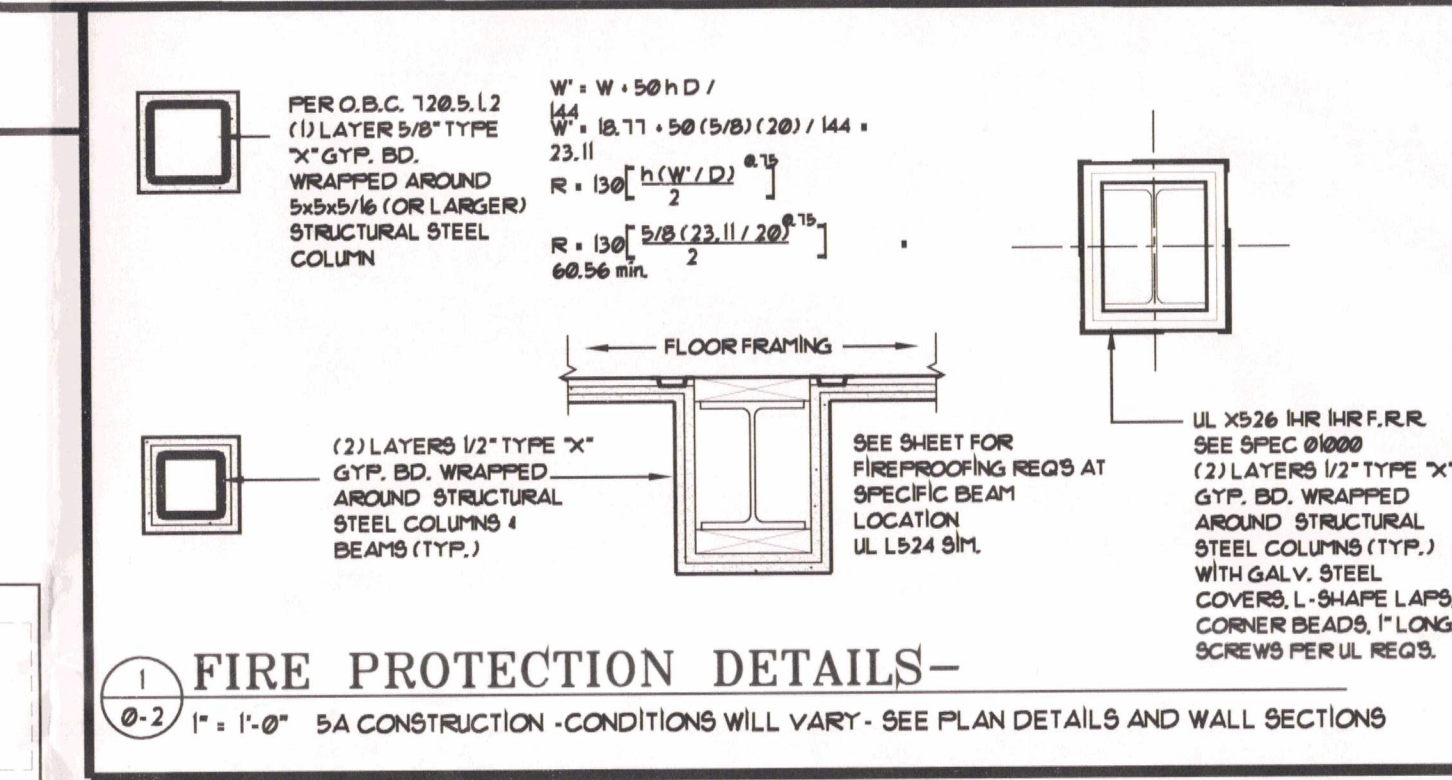
FIRE AREAS

O.B.C./LIFE SAFETY REQUIRES RATINGS TABLE 302.1.1 INCIDENTAL USES

1 HR. F.R.R.
LAUNDRY ROOMS OVER 100 SF.
FURNACE ROOMS GREATER THAN 40,000 B.T.U./HR
STORAGE ROOMS OVER 100 SF. (50 SF. LIFE SAFETY CODE)



3 RATED SEPARATION PLAN: SUPPORT BASEMENT
0-2 NTS USE I-1 5A CONSTRUCTION 5,408 SF



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| | | | |
|-----------|---------|-------------|---------|
| DATE | 1-23-07 | CHECKED | SC |
| JOB # | 04-13B | DRAWN BY | SC |
| REVISIONS | | APPROVED BY | JAM |
| | | DATE | 2/18/07 |

BUILDING INFORMATION & GENERAL NOTES

CHESTERWOOD VILLAGE - PHASE 2
HILLDALE COMMUNITIES
WEST CHESTER, OHIO

JAM ARCHITECTS, INC.
1400 JAMES HILL
WEST CHESTER, OHIO 45386

DEMOLITION NOTES

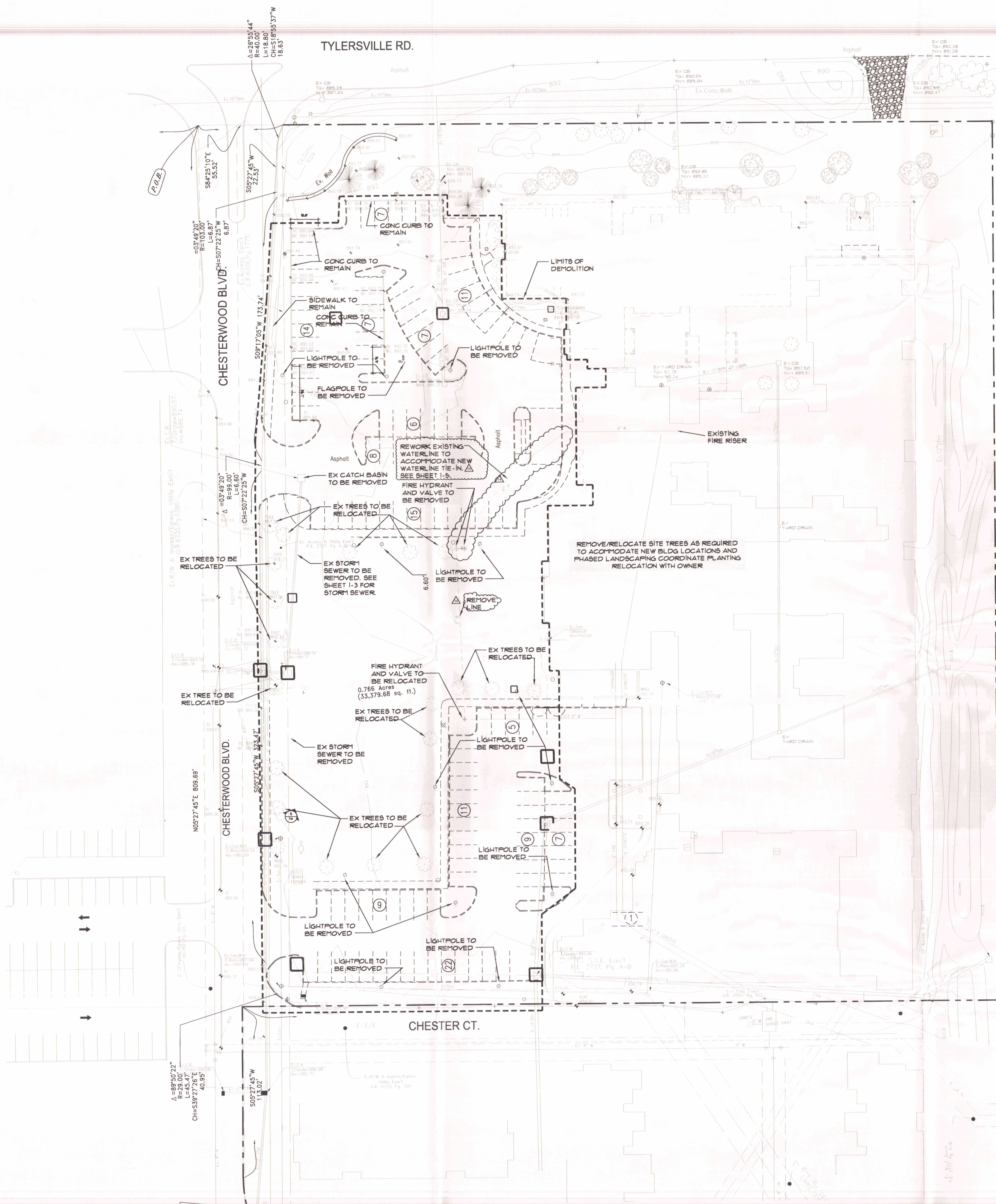
- A. PAVEMENT, CURBS AND SIDEWALK WITHIN DEMOLITION LIMITS SHALL BE REMOVED UNLESS NOTED OTHERWISE.
- B. ALL UTILITIES WITHIN THE DEMOLITION LIMITS SHALL REMAIN UNLESS NOTED OTHERWISE.
- C. ALL TREES AND LANDSCAPING WITHIN THE DEMOLITION LIMITS SHALL REMAIN UNLESS NOTED OTHERWISE.

GENERAL NOTES

- A. CONTRACTOR SHALL VERIFY DIMENSIONS PRIOR TO BEGINNING OF WORK AND NOTIFY THE ARCHITECT FOR RESOLUTION OF ANY DISCREPANCIES.
- B. CONTRACTORS ARE REQUIRED TO INSPECT THE SITE PRIOR TO BIDDING TO ASCERTAIN ALL ITEM IN EVIDENCE THAT MUST BE ADDRESSED IN COMPLETION OF THE WORK AND INCLUDE THE COST OF THE REQUIRED WORK IN THEIR BID.
- C. ALL UTILITIES AND APPURTANCES SHALL BE CONSTRUCTED ACCORDING TO THE LOCAL CITY OF WEBSTER AND BUTLER COUNTY REQUIREMENTS.
- D. ROOF DRAINS AND OTHER CLEAN WATER CONNECTIONS TO SANITARY SEWER ARE PROHIBITED.
- E. ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS ACCORDING TO THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL NOTIFY THE OHIO UTILITY PROTECTION SERVICE (1-800-363-2764) 48 HOURS PRIOR TO CONSTRUCTION TO OBTAIN ACCURATE FIELD LOCATIONS OF UNDERGROUND UTILITIES.
- F. ALL UTILITIES SHOWN ARE TO REMAIN UNLESS NOTED OTHERWISE.
- G. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY DEPTHS, INVERTS, LOCATIONS ETC, PRIOR TO CONSTRUCTION. HE SHALL NOTIFY THE ARCHITECT IMMEDIATELY, IF THERE ARE ANY DISCREPANCIES.
- H. ADD 800 TO ALL PROPOSED CONTOURS AND SPOT ELEVATIONS.
- I. ALL FILL TO BE USED ON ANOTHER SITE SHALL BE CLEAN FILL ONLY. ALL DEBRIS INCLUDING BUT NOT LIMITED TO (CONC, ASPHALT, GRAVEL ETC) SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL REGULATIONS AND REQUIREMENTS.
- J. SEE ELECTRICAL PLANS FOR SITE LIGHTING FIXTURE SCHEDULE.
 - L-1: GROUND MOUNTED BUILDING UPLIGHT FIXTURE, PLANTING BED LOCATION TYP. SEE VI-1
 - L-2: COURTYARD STEM FIXTURE AT PLANT BED, PROVIDE UNDERGROUND CONDUIT. SEE ELEC DWGS. AND LANDSCAPE SHEETS
 - L-3: COACH LIGHT FIXTURE. SEE ELEC DWGS.
 - L-4: RELOCATED EXISTING SITE PARKING LIGHTS. COORDINATE CIRCUITING W/ELEC. DWGS. MATCH EXISTING H.P. SODIUM LAMPS. SEE 4/1-5.
 - L-5: FOUNTAIN AND LIGHT, MODEL #1107. SEE ELEC AND PLG DWGS. SEE SHEET VI-2 FOR DETAILS.
- K. CONTRACTOR SHALL PROVIDE EROSION CONTROL MEASURES TO COMPLY LOCAL CODE REQUIREMENTS AND SHEET I-4.

SYMBOLS

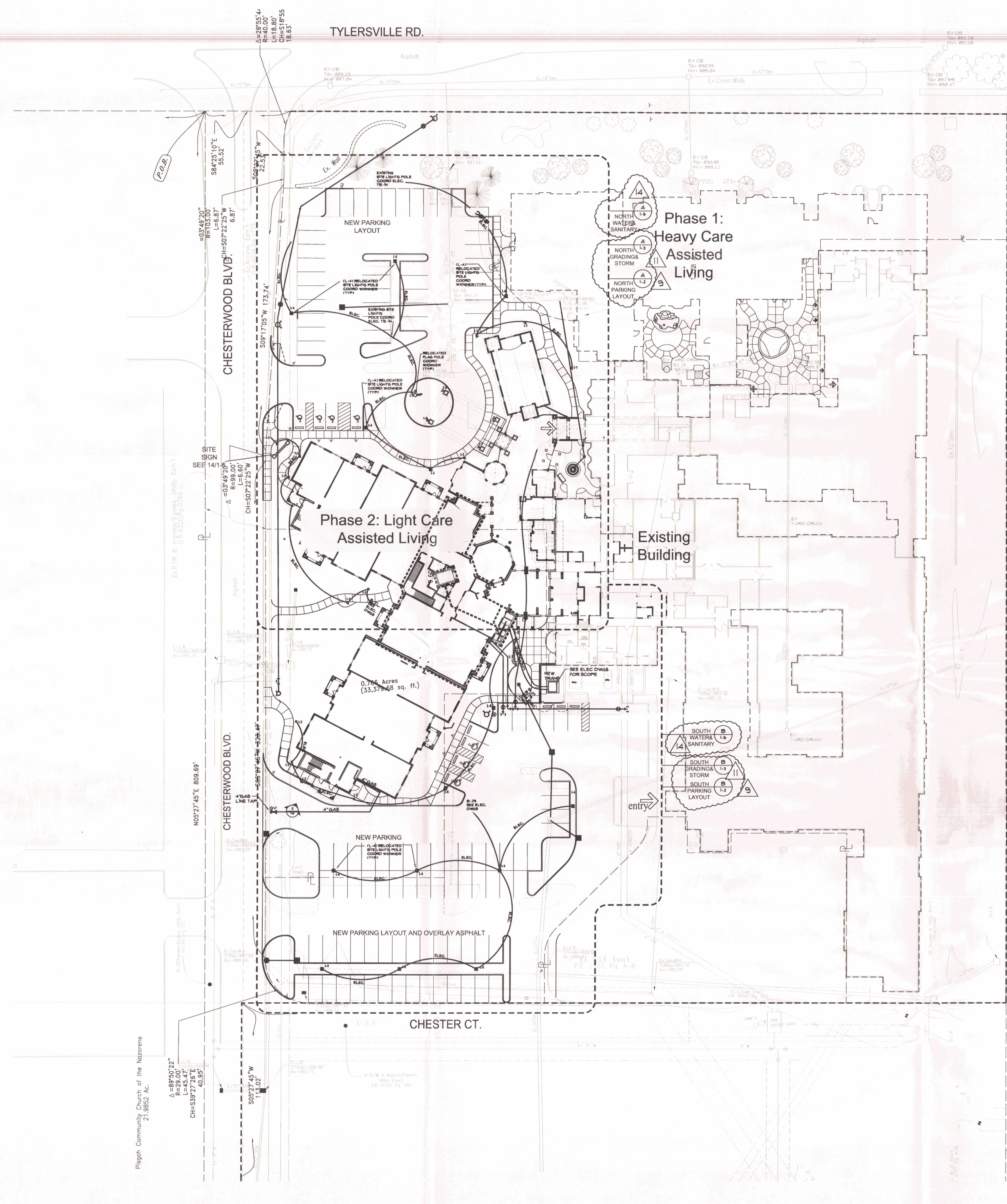
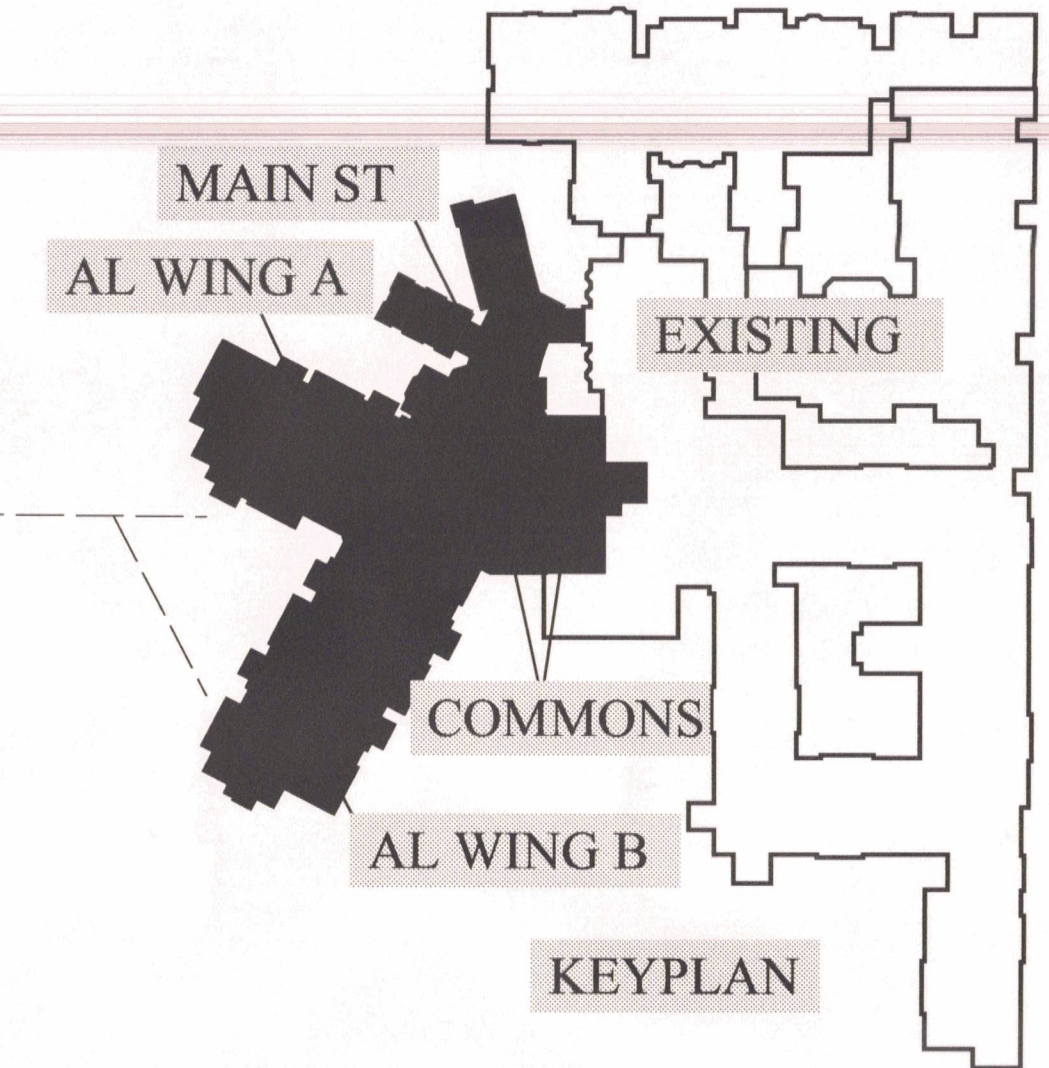
| SITE PLAN | | UTILITIES | |
|-----------|-------------------------|-----------|-------------|
| | DIRECTION OF FLOW | | CATCH BASIN |
| | PROPERTY LINE | | STM MANHOLE |
| | EXISTING CONTOUR | | SAN MANHOLE |
| | NEW CONTOUR | | STM |
| | SPOT ELEVATION | | SAN |
| | EXISTING SPOT ELEVATION | | GAS |
| | ASPHALT PAVEMENT | | WATER |
| | CONC SIDEWALK | | ELEC |
| | | | TEL/CAB |
| | | | TELEPHONE |
| | | | CABLE LINE |



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 DATE: 7-23-07
 JOB #: 04.13B
 CHECKED: STG
 DRAWN BY: J.L.C.
 REVISIONS: 1/1/07
 1/1/07

LIGHT CARE ASSISTED LIVING
 EXISTING CONDITIONS/DEMOLITION
 CHESTERWOOD VILLAGE - PHASE 2
 HILLDALE COMMUNITIES
 WEST CHESTER, OHIO

JAM ARCHITECTS, INC.
 4800 Linwood Drive, Columbus, Ohio 43220
 614.297.8800
 www.jamarchitects.com



GENERAL NOTES

- A. CONTRACTOR SHALL VERIFY DIMENSIONS PRIOR TO BEGINNING OF WORK AND NOTIFY THE ARCHITECT FOR RESOLUTION OF ANY DISCREPANCIES.
- B. CONTRACTORS ARE REQUIRED TO INSPECT THE SITE PRIOR TO BIDDING TO ASCERTAIN ALL ITEM IN EVIDENCE THAT MUST BE ADDRESSED IN COMPLETION OF THE WORK AND INCLUDE THE COST OF THE REQUIRED WORK IN THEIR BID.
- C. ALL UTILITIES AND APPURTANCES SHALL BE CONSTRUCTED ACCORDING TO THE LOCAL CITY OF WESTHESTER AND BUTLER COUNTY REQUIREMENTS.
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- J. SEE ELECTRICAL PLANS FOR SITE LIGHTING FIXTURE SCHEDULE.
 - L-1: GROUND MOUNTED BUILDING UPLIGHT FIXTURE. PLANTING BED LOCATION TYP. SEE 16-1
 - L-2: COURTYARD STEM FIXTURE AT PLANT BED. PROVIDE UNDERGROUND CONDUIT. SEE ELEC DWGS. AND LANDSCAPE SHEETS
 - L-3: COACH LIGHT FIXTURE. SEE ELEC DWGS
 - L-4: RELOCATED EXISTING SITE PARKING LIGHTS. COORDINATE CIRCUITING W/ELEC. DWGS. MATCH EXISTING H.P. SODIUM LAMPS. SEE 41-5.
 - L-5: FOUNTAIN AND LIGHT, MODEL #F101. SEE ELEC AND PLG DWGS. SEE SHEET VI-2 FOR DETAILS.
- K. CONTRACTOR SHALL PROVIDE EROSION CONTROL MEASURES TO COMPLY LOCAL CODE REQUIREMENTS AND SHEET I-4.

SYMBOLS

| SITE PLAN | | UTILITIES | |
|-----------|-------------------------|-----------|-------------|
| | DIRECTION OF FLOW | | CATCH BASIN |
| | PROPERTY LINE | | STW MANHOLE |
| | EXISTING CONTOUR | | STW MANHOLE |
| | NEW CONTOUR | | STW MANHOLE |
| | SPOT ELEVATION | | STW MANHOLE |
| | EXISTING SPOT ELEVATION | | STW MANHOLE |
| | ASPHALT PAVEMENT | | STW MANHOLE |
| | CONC SIDEWALK | | STW MANHOLE |

OVERALL SITE PLAN
SCALE: 1" = 30'-0"



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| | | |
|---|-----------------|-------------------------------|
| DATE 1-25-07 | CHECKED STC | REVISIONS DATE #1: 6/10/07 |
| JOB # 04138 | DRAWN BY JLC | |
| LIGHT CARE ASSISTED LIVING OVERALL SITE PLAN CHESTERWOOD VILLAGE - PHASE 2 HILLDALE COMMUNITIES WEST CHESTER, OHIO | | |
| | | |

TYLERSVILLE RD.

Asphalt

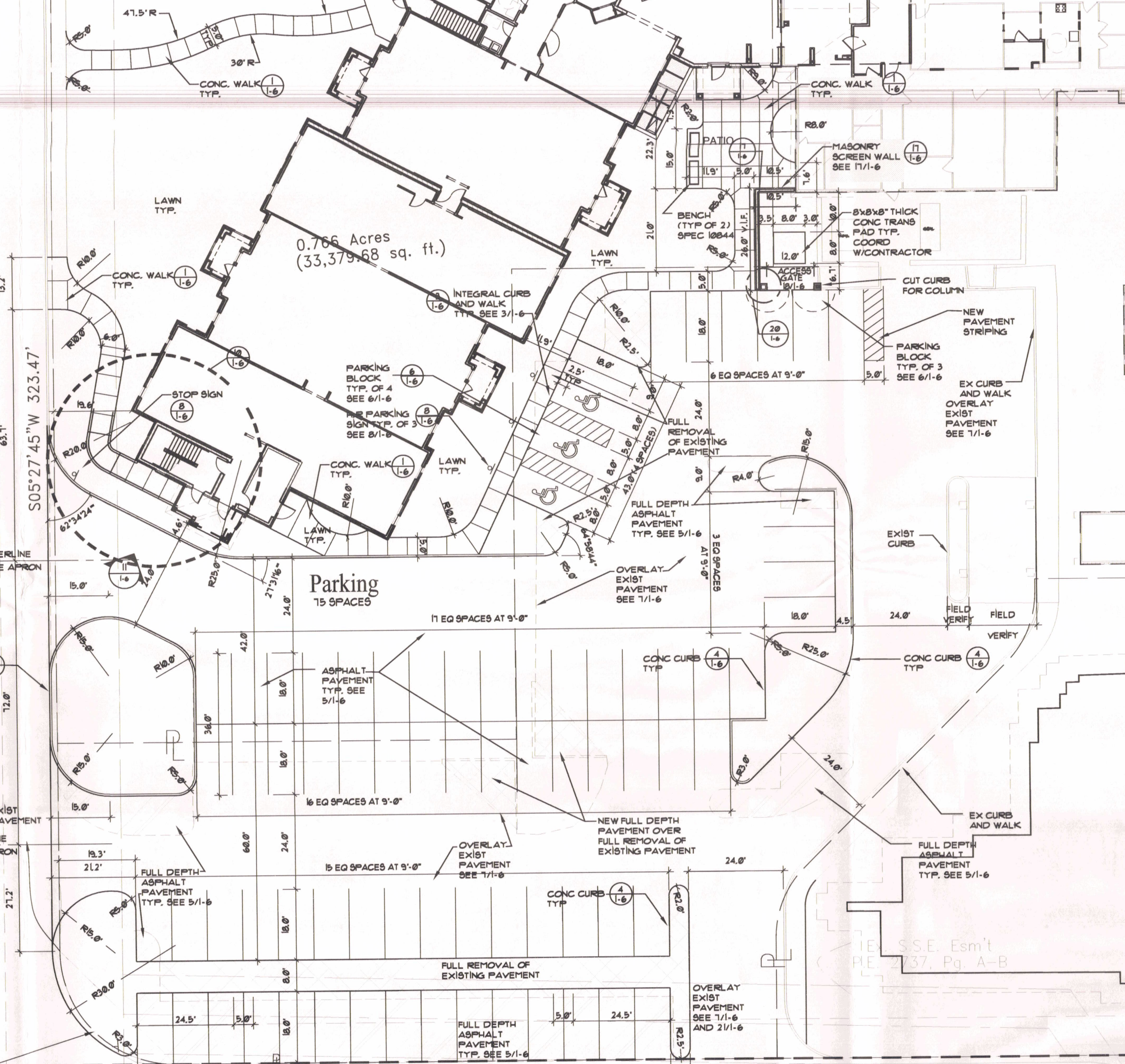
N84°25'10"W 464.48'

Existing R/W

1.178 Acres
(51,329.46 sq. ft.)

N05°27'45"E 808.69'

CHESTERWOOD BLVD.



GENERAL NOTES

- A. CONTRACTOR SHALL VERIFY DIMENSIONS PRIOR TO BEGINNING OF WORK AND NOTIFY THE ARCHITECT FOR RESOLUTION OF ANY DISCREPANCIES.
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 - L-3: COACH LIGHT FIXTURE. SEE ELEC DWGS.
 - L-4: RELOCATED EXISTING SITE PARKING LIGHTS. COORDINATE CIRCUITING W/ ELEC DWGS. MATCH EXISTING H.P. BODIUM LAMPS. SEE 41-5.
 - L-5: FOUNTAIN AND LIGHT. MODEL #1017. SEE ELEC AND PLG DWGS. SEE SHEET 11-2 FOR DETAILS.
- K. CONTRACTOR SHALL PROVIDE EROSION CONTROL MEASURES TO COMPLY LOCAL CODE REQUIREMENTS AND SHEET 1-4.

SYMBOLS

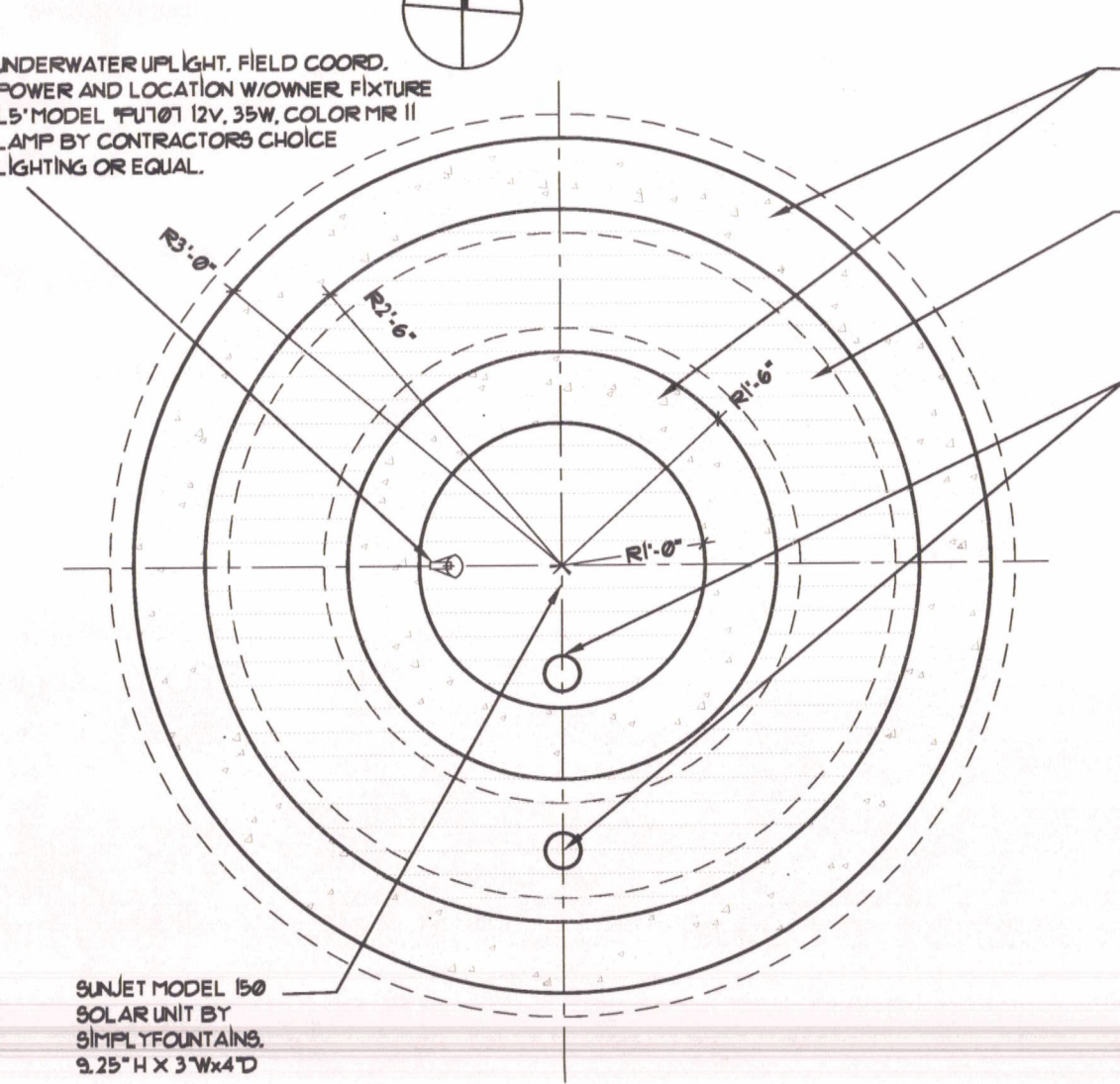
| SITE PLAN | | UTILITIES | |
|-----------|-------------------------|-----------|------------------------------|
| | DIRECTION OF FLOW | | CATCH BASIN |
| | PROPERTY LINE | | ST1M MAN-HOLE |
| | EXISTING CONTOUR | | ST1M SAN MAN-HOLE |
| | NEW CONTOUR | | ST1M STORM SEWER |
| | SPOT ELEVATION | | SAN SANITARY SEWER |
| | EXISTING SPOT ELEVATION | | GAS GAS LINE |
| | ASPHALT PAVEMENT | | WATER WATER LINE |
| | CONC SIDEWALK | | ELEC ELECTRIC LINE |
| | | | TEL/CAB TELEPHONE CABLE LINE |

B PARTIAL LAYOUT PLAN

SCALE: 1"=20' SOUTH PARKING 4 WING B

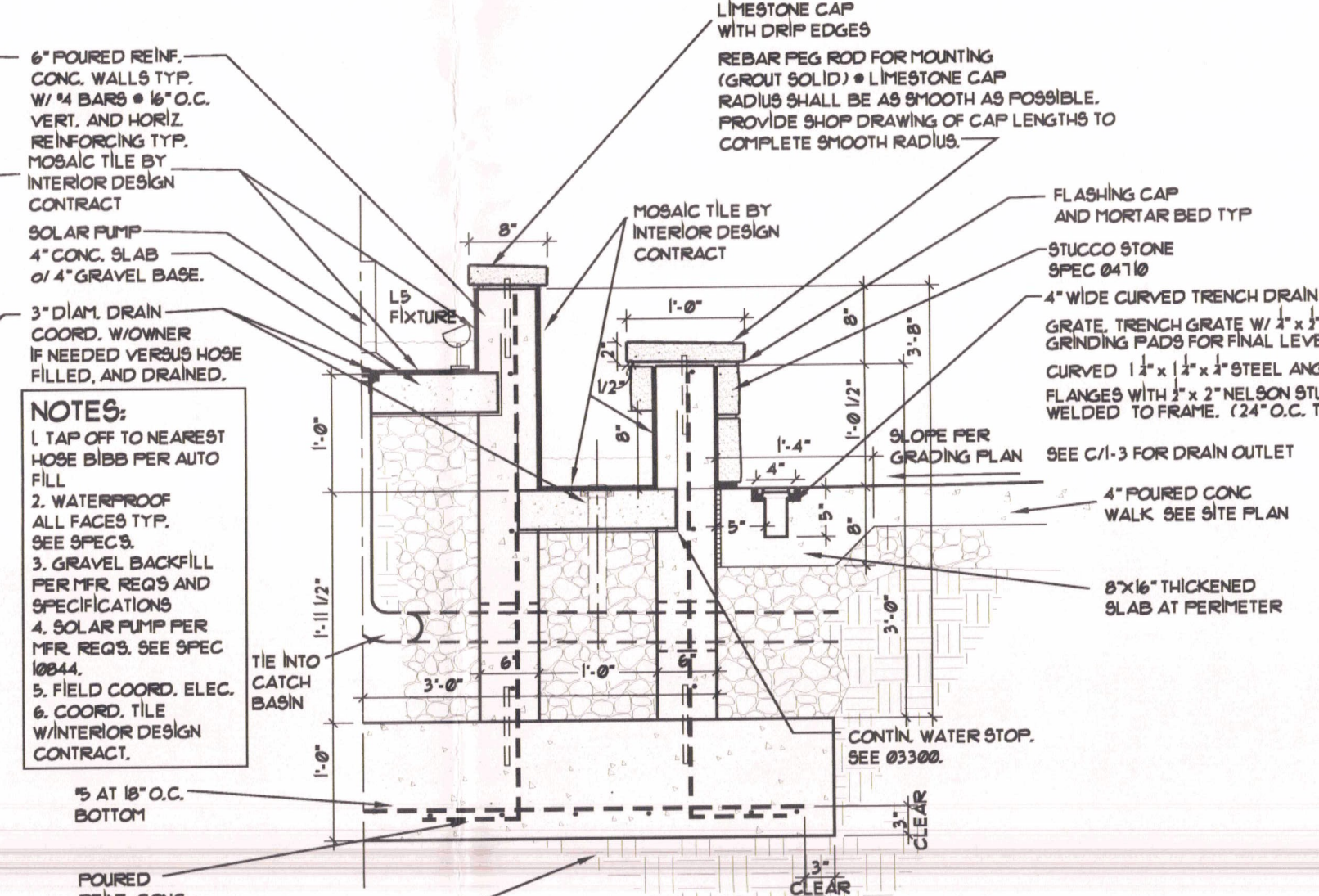
A PARTIAL LAYOUT PLAN

SCALE: 1"=20' NORTH PARKING, MAIN STREET 4 WING A



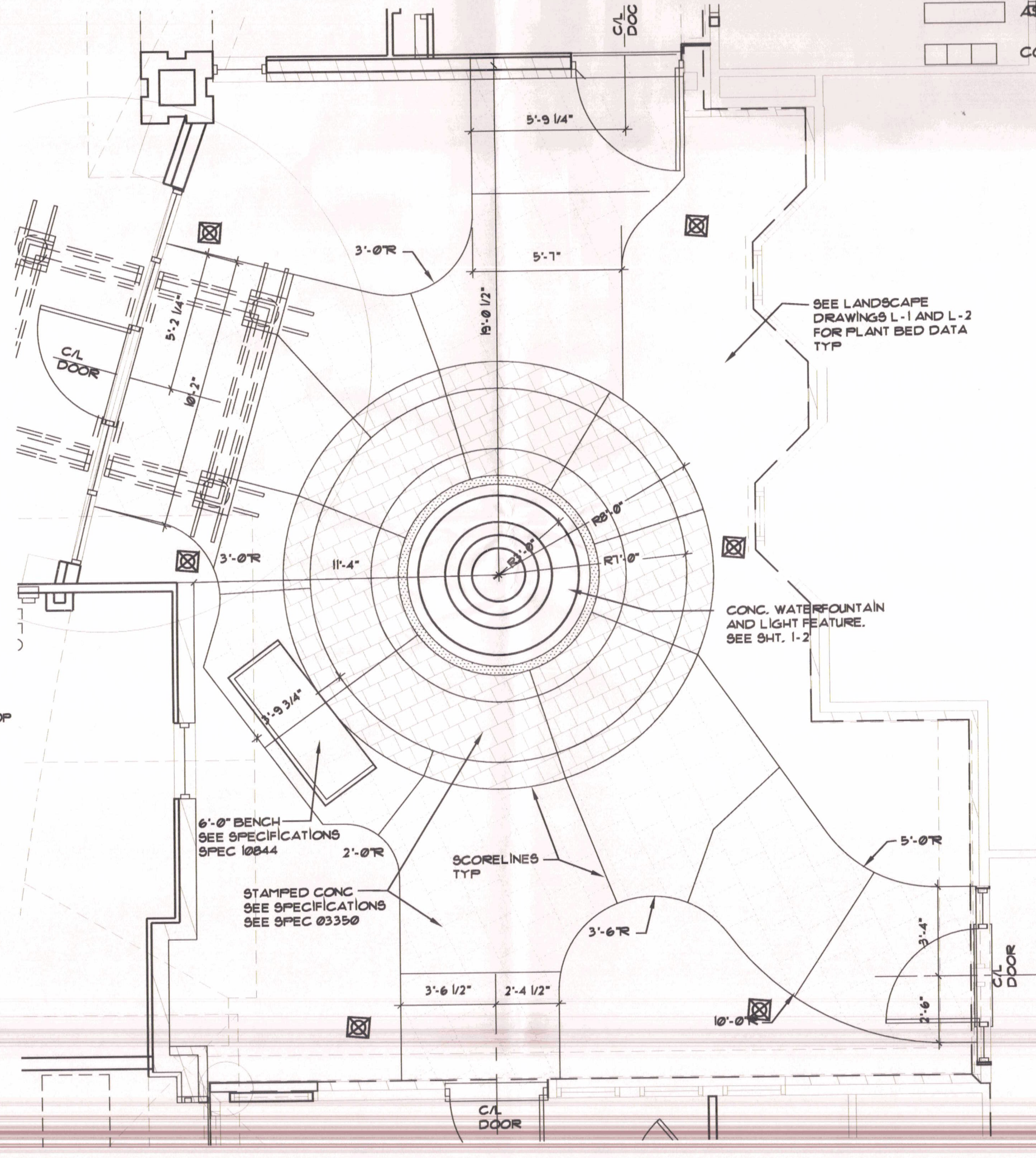
1 WATER FEATURE-PLAN

SCALE: 3/4"=1'-0" CONCRETE WALLS



2 WATER FEATURE

SCALE: 3/4"=1'-0" FOUNTAIN



C COURTYARD LAYOUT

SCALE: 1/4"=1'-0"



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| | | |
|----------------|---------------|-----------------|
| DATE: 05-23-07 | CHECKED: STG | REVISIONS: |
| JOB #: 041135 | DRAWN BY: JLC | NO. 1: 05/23/07 |

NORTH/SOUTH PARKING LAYOUTS
COURTYARD WALK LAYOUT
CHESTERWOOD VILLAGE - PHASE 2
HILLDALE COMMUNITIES
WEST CHESTER, OHIO

TYLERSVILLE RD.

CHESTERWOOD BLVD.

CHESTERWOOD BLVD.

CHESTER CT.

GENERAL NOTES

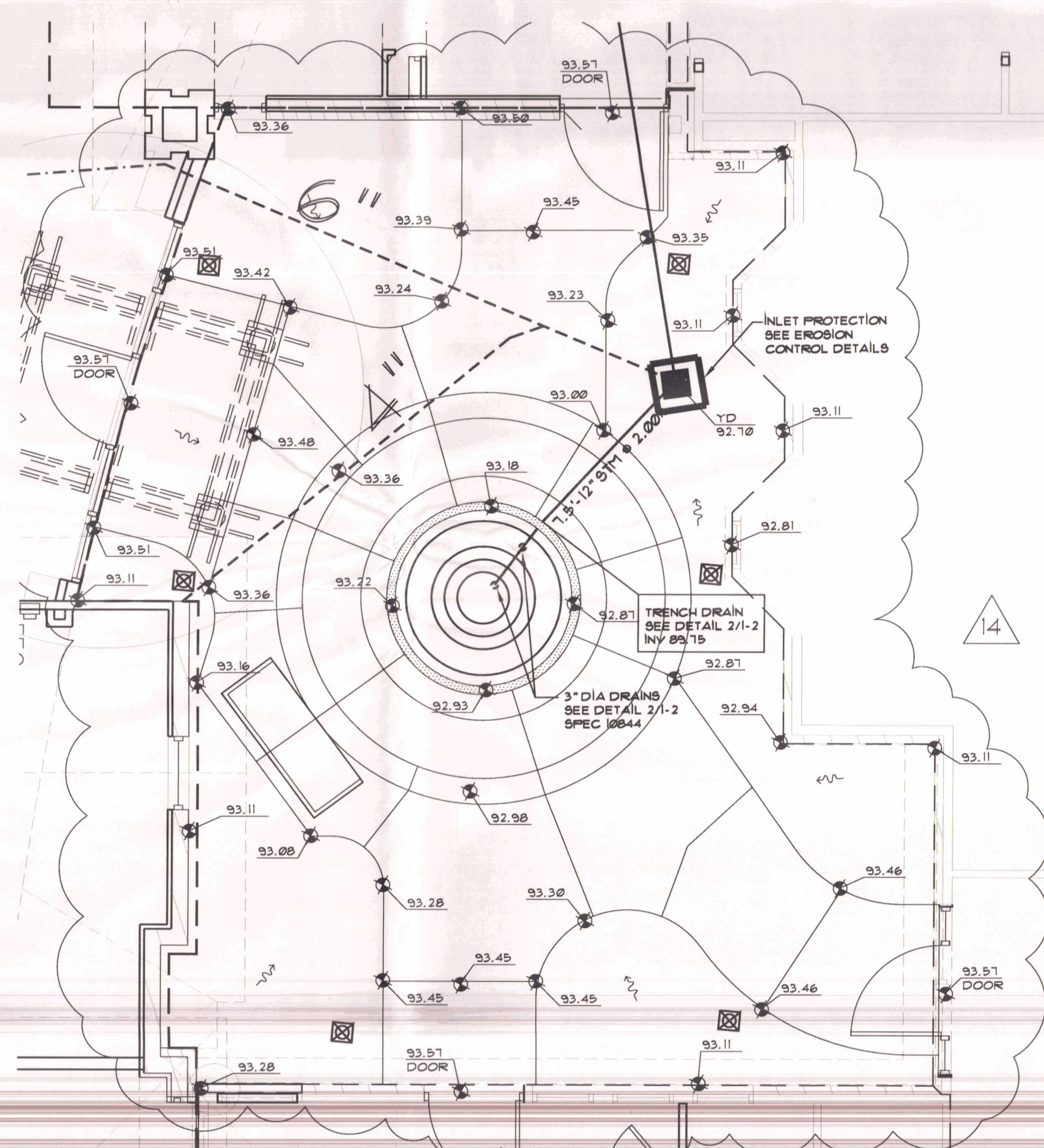
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 L-4: RELOCATED EXISTING SITE PARKING LIGHTS. COORDINATE CIRCULATING W/ ELEC DWG'S. MATCH EXISTING H.P. SODIUM LAMPS. SEE 4/1-5.
 L-5: FOUNTAIN AND LIGHT, MODEL #F1071. SEE ELEC AND PLG DWG'S. SEE SHEET 1/1-2 FOR DETAILS.
- K. CONTRACTOR SHALL PROVIDE EROSION CONTROL MEASURES TO COMPLY LOCAL CODE REQUIREMENTS AND SHEET 1-4.

SYMBOLS

| SITE PLAN | | UTILITIES | |
|-----------|-------------------------|-----------|----------------------|
| | DIRECTION OF FLOW | | CATCH BASIN |
| | PROPERTY LINE | | 6"TM MANHOLE |
| | EXISTING CONTOUR | | 8"TM MANHOLE |
| | NEW CONTOUR | | 6"TM SANITARY SEWER |
| | SPOT ELEVATION | | 8"TM SANITARY SEWER |
| | EXISTING SPOT ELEVATION | | GAS LINE |
| | ASPHALT PAVEMENT | | WATER LINE |
| | CONC SIDEWALK | | ELECTRIC LINE |
| | | | TELEPHONE CABLE LINE |

2 WORKING DAYS
BEFORE YOU DIG
 CALL TOLL FREE 800-362-2764
 OHIO UTILITIES PROTECTION SERVICE

B GRADING/ STORM WATER
 1-3 SCALE: 1"=20' SOUTH PARKING 4 WING B



NOTES

GRATE: The design shall be essentially the same and equal in strength as the one shown (see construction information table), or meet the requirements of CMS 711.4. Grate openings and dimensions shall not differ from those shown unless otherwise shown in the plans. If necessary, bicycle safety grates shall be Nansen No. R-4859-C or East Jordan No. 5110 Type M3 or approved equal.

As of January 1, 2003, the following text shall be cast into the top of the grate:

"DUMP NO WASTE" and "DRAINS TO WATERWAY"

Text shall be printed in bold, capital letters with a minimum height of 1/2". "WATERWAY" may be substituted with "STREAM", "RIVER", "LAKE", etc. Actual placement and logo may vary per manufacturer.

WALLS: Brick or cast-in-place walls have a nominal thickness of 8" [200]. Precast walls shall have a minimum thickness of 6" [150] and be reinforced sufficiently to permit shipping and handling without damage.

CONCRETE: Cast-in-place concrete is to be Class C. All precast concrete shall meet the requirements of CMS 706.3 and be marked with the catch basin number.

PRECAST BASE: If a precast base is used, it shall be set deep enough so that the top can be placed on the base to provide the grate elevation specified in the plans. Layers of brick shall not be used to adjust the top elevation.

LOCATION AND ELEVATION: When given on the plans, location and elevation are at the top center of the grate. When side openings are provided, the elevation shall be at the flow line of the side inlet.

MINIMUM DEPTHS: The minimum depth for CB No. 2-2B shall be the O.D. of the outlet pipe plus 4" [100].

2-2B GRATE ELEVATION: Grate elevation is to be placed 4" to 6" [100 to 150] below normal finish relating to normal 10' to 15' [3 m to 5 m] each side of inlet.

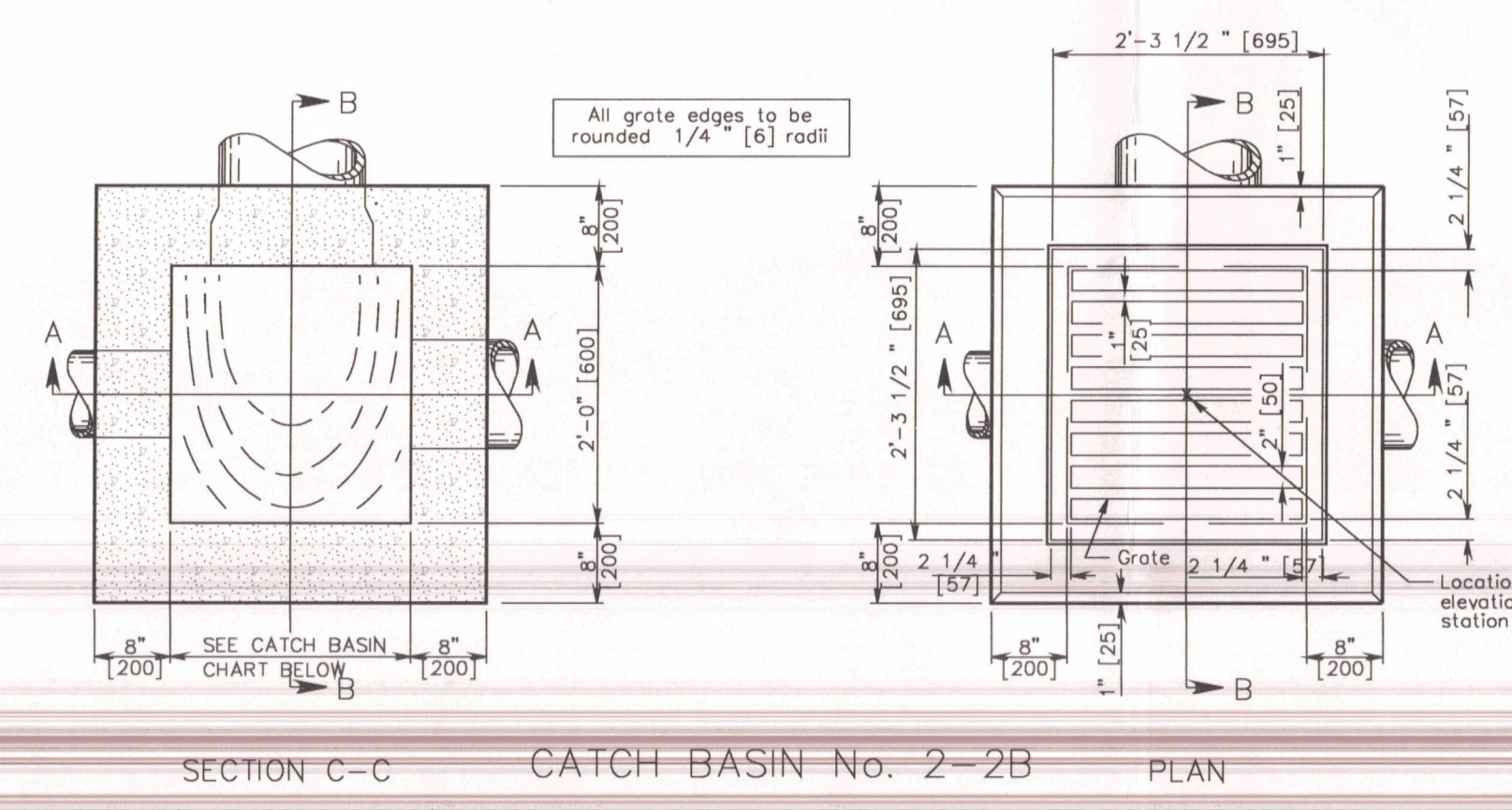
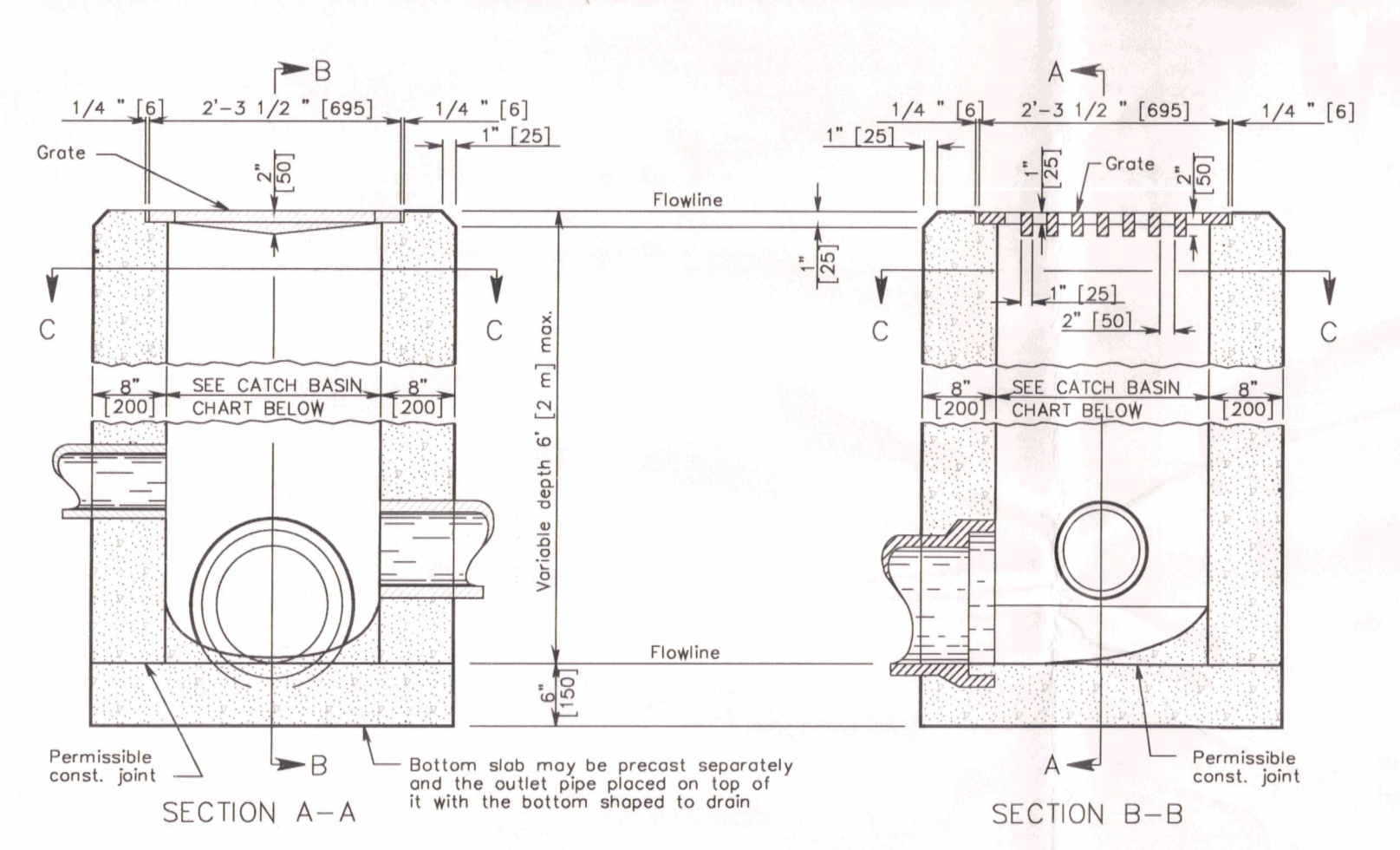
OPENINGS: Pipe openings shall be the O.D. of the pipe being supplied plus 2" [50] when fabricated, or field cut, the interstitial space shall be filled with gravel per CMS 603.

PAYMENT: All materials and labor, including excavation and backfilling, shall be paid for under item 604 - Catch Basin, No. 2-2B.

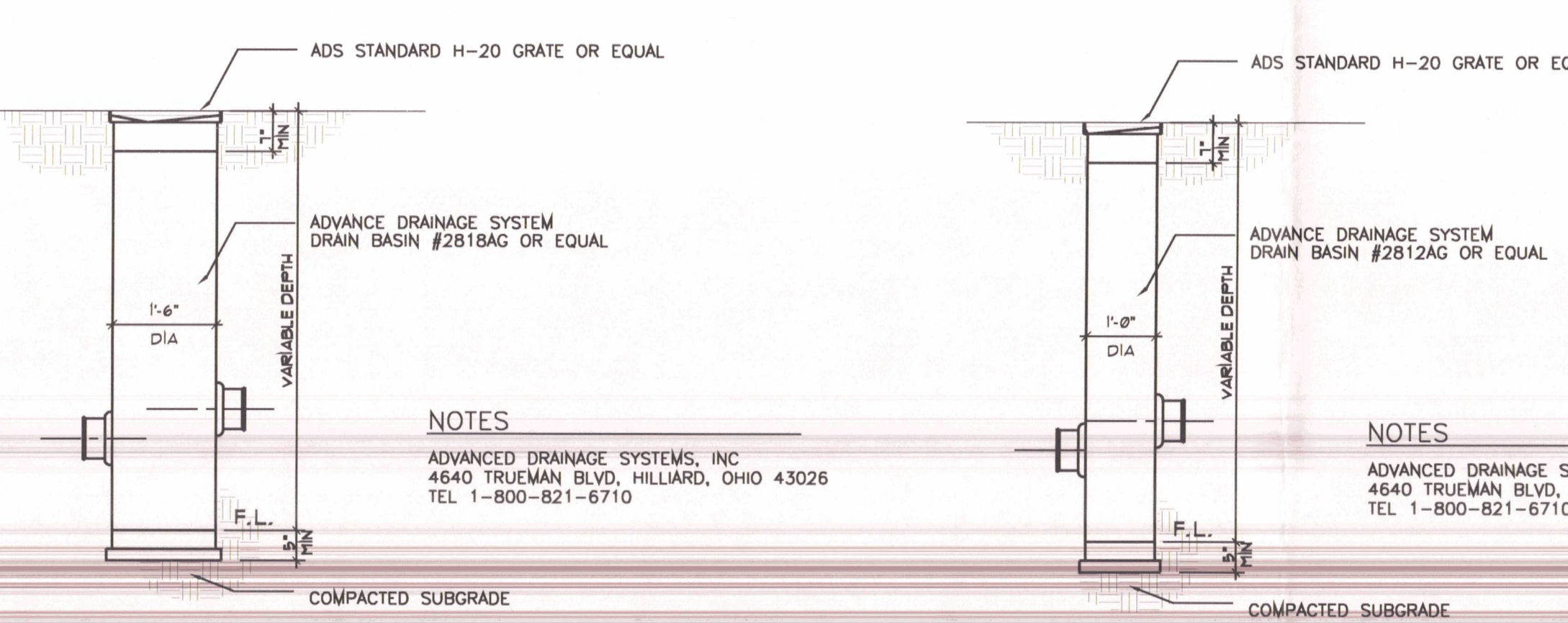
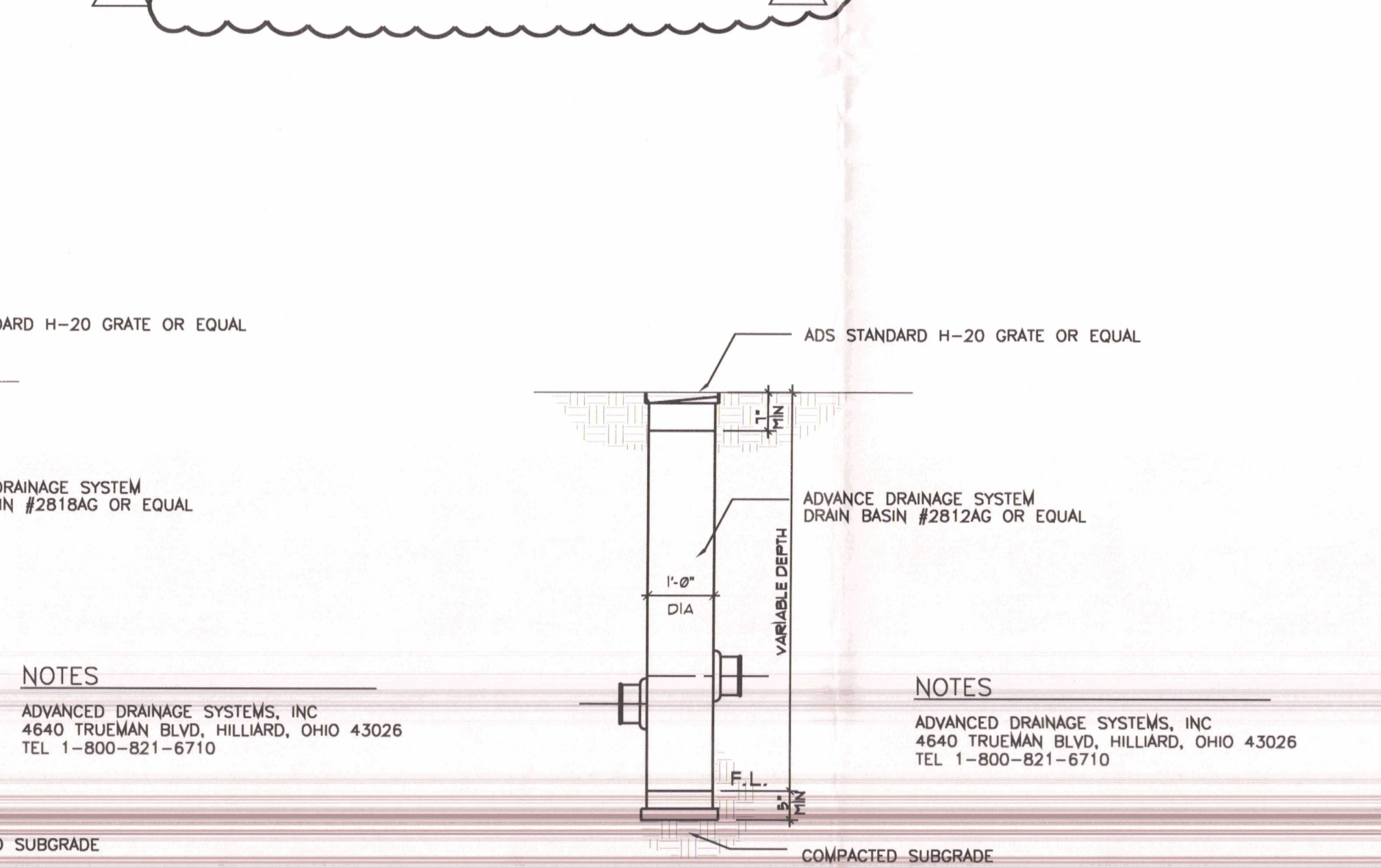
CONSTRUCTION INFORMATION
 Minimum weight (mass) of grate, 120 lbs. [54 kg]

CATCH BASIN CHART

| INLETOR DIMENSION | OUTLET PIPE SIZE |
|-------------------|------------------|
| 2'-0" | 12" to 21" |
| 2'-3" | 27" |



A GRADING/ STORM WATER
 1-3 SCALE: 1"=20' NORTH PARKING, MAIN STREET 4 WING A



2 YARD DRAIN TYPE 2 SCALE: 1"=30'-0"
3 YARD DRAIN TYPE 3 SCALE: 1"=30'-0"



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| | | | |
|-------|---------|----------|--------|
| DATE | 1-23-07 | CHECKED | STC |
| JOB # | 0413B | DRAWN BY | J.L.C. |

REVISIONS

| | | |
|-----|---------|-------------------|
| NO. | DATE | DESCRIPTION |
| 1 | 1/23/07 | ISSUED FOR PERMIT |
| 2 | 1/23/07 | ISSUED FOR PERMIT |

4800 Linnell Drive, Columbus, Ohio 43226
 TEL 614-232-5858
 FAX 614-232-5858

JMW ARCHITECTS, INC.

SEDIMENT AND EROSION CONTROL GENERAL NOTES

THE CONTRACTOR SHALL IMPLEMENT SOIL EROSION AND SEDIMENTATION CONTROL MEASURES DURING CONSTRUCTION TO THE STANDARDS AND SPECIFICATIONS OF THE STATE OF OHIO AND THEY ARE TO REMAIN IN EFFECT UNTIL AREAS ARE PERMANENTLY STABILIZED.

THE CONTRACTOR SHALL PLACE STRAW BALES FOR EROSION CONTROL IMMEDIATELY AFTER CONSTRUCTION OF CATCH BASINS.

THE CONTRACTOR SHALL MAKE DAILY INSPECTIONS OF THE SITE TO INSURE EFFECTIVENESS OF EROSION AND SEDIMENTATION CONTROL MEASURES, AND WILL IMMEDIATELY MAKE NECESSARY REPAIRS IN ACCORDANCE WITH THE MAINTENANCE SCHEDULE SHOWN ON THIS PLAN.

IT MAY BECOME NECESSARY TO REMOVE PORTIONS OF THE BARRIER DURING CONSTRUCTION TO FACILITATE THE GRADING OPERATIONS IN CERTAIN AREAS. HOWEVER, THE BARRIER SHALL BE IN PLACE IN THE EVENING OR DURING ANY INCLEMENT WEATHER.

EROSION AND ANY SEDIMENTATION FROM THE WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT BE ALLOWED TO COLLECT IN ANY OFF-SITE DRAINAGE COURSE, WHETHER NATURAL OR MAN-MADE.

ALL EARTH CHANGES SHALL BE CONSTRUCTED AND COMPLETED IN SUCH A MANNER TO LIMIT THE EXPOSED AREA OF ANY DISTURBED LAND FOR THE SHORTEST PERIOD OF TIME.

ALL CONSTRUCTION TRAFFIC SHALL ENTER AND LEAVE BY THE DESIGNATED ENTRANCES. THESE ENTRANCES SHALL BE CONSTRUCTED OF CRUSHED STONE TO HELP FREE TIRES OF SOIL WHEN LEAVING THE SITE. THE CONTRACTOR SHALL INSTRUCT ALL VEHICLES TO CLEAN SOIL, MISCELLANEOUS DEBRIS, OR OTHER MATERIAL SPILLED, DUMPED OR OTHERWISE DEPOSITED ON PUBLIC STREETS, HIGHWAYS, SIDEWALKS OR OTHER PUBLIC THOROUGHFARES DURING TRAVEL TO AND FROM THE SITE.

THE CONTRACTOR SHALL INSTALL TEMPORARY EROSION AND SEDIMENTATION DEVICES AS SHOWN AND REQUIRED BY THESE PLANS. THESE DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED UNTIL PERMANENT STABILIZATION OF SLOPES, DITCHES AND OTHER EARTH CHANGES HAVE BEEN ACCOMPLISHED.

CATCH BASINS LOCATED IN THE STREET OR NEAR THE SITE WILL BE PROTECTED TO PREVENT SEDIMENTATION FROM ENTERING FACILITY. THE COVERS SHALL BE CHECKED PERIODICALLY AND CLEANED WHENEVER THEY FAIL TO FILTER RUNOFF.

WHERE APPLICABLE, THE DETENTION BASIN SHALL BE USED AS A TEMPORARY SEDIMENTATION BASIN. THE CONTRACTOR SHALL INSTALL A TEMPORARY PIPE SPILLWAY AT THE OUTLET. ALL SURFACE RUNOFF FROM THE PROJECT AREAS SHALL BE DIRECTED BY TEMPORARY DRAINAGE SWALES TO THE BASINS. AT THE COMPLETION OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED THE BASINS SHALL BE CAREFULLY DRAINED WITHOUT DISTURBING THE SETTLED SILT, AND THEN GRADED AND SODDED TO CONFORM TO THE SITE GRADING PLAN.

THE LIMITS OF SEEDING AND MULCHING ARE AS SHOWN WITHIN THE PLAN. SEEDING HAS BEEN ASSUMED TO 5' OUTSIDE THE WORK LIMITS OR RIGHT-OF-WAY WHICHEVER IS GREATER. ALL AREAS NOT DESIGNATED TO BE SEEDDED SHALL REMAIN UNDER NATURAL GROUND COVER. THOSE AREAS DISTURBED OUTSIDE THE SEEDING LIMITS SHALL BE SEEDDED AND MULCHED AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR SHALL MAINTAIN A BUFFER STRIP AS DESIGNATED ON THE PLAN TO PREVENT SEDIMENT FROM LEAVING THE SITE. THIS STRIP SHALL BE MAINTAINED AT ALL TIMES AND NO SOIL SHALL BE PLACED ON THIS STRIP.

ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO, OR IN CONJUNCTION WITH, THE START OF EXCAVATION AND ARE TO REMAIN IN EFFECT UNTIL AREAS ARE STABILIZED. FIELD ADJUSTMENTS WITH RESPECT TO LOCATION AND DIMENSIONS MAY BE MADE BY THE ENGINEER AS REQUIRED.

FILTER BARRIERS CONSIST OF EITHER STRAW BALE FILTERS OR FILTER FABRIC AS SHOWN HEREON.

SEDIMENT AND EROSION CONTROLS SHALL COMPLY WITH THE CITY OF COLUMBUS EROSION AND SEDIMENT CONTROL REGULATIONS. ALL LAND DISTURBING ACTIVITIES SHALL BE SUBJECT TO INSPECTIONS AND SITE INVESTIGATION BY THE CITY OF COLUMBUS AND/OR THE OHIO EPA TO DETERMINE COMPLIANCE WITH CURRENT REGULATIONS. CORRECTIVE MEASURES OR MODIFICATIONS TO THE ON SITE EROSION AND SEDIMENT CONTROL PRACTICE SHALL COMPLY WITH THE CITY OF COLUMBUS OR OHIO EPA DIRECTIVES.

SEDIMENT FENCE DETAIL

SILT FENCE: THIS SEDIMENT BARRIER UTILIZES STANDARD STRENGTH OR EXTRA STRENGTH SYNTHETIC FILTER FABRICS. IT IS DESIGNED FOR SITUATIONS IN WHICH ONLY SHEET OR OVERLAND FLOWS ARE EXPECTED.

THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (HIGHER FENCES MAY IMPOUND VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE TO THE STRUCTURE).

THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY FILTER CLOTH SHALL BE SPICED TOGETHER ONLY AT A SUPPORT POST WITH A MINIMUM 6-INCH OVERLAP AND SECURELY SEALED.

WHEN STANDARD STRENGTH FILTER FABRIC IS USED A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST AT LEAST 1 INCH LONG, THE WIRES OR HOG RINGS, THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.

POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND (MAXIMUM OF 12 INCHES). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT, FENCE POST SPACING SHALL NOT EXCEED 6 FEET.

A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES WIDE AND 4 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.

THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE AND 8 INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.

WHEN EXTRA STRENGTH FILTER FABRIC AND CLOSER POST SPACING ARE USED THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH A CASE THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS.

THE TRENCH SHALL BE BACKFILLED AND SOIL COMPACTED OVER THE FILTER FABRIC.

SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.

MAINTENANCE

SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR OR THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.

SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.

ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE PREPARED AND SEEDDED.

INLET FILTER DETAIL

MAINTENANCE

INLET PROTECTION SHALL BE CONSTRUCTED EITHER BEFORE UPSLOPE LAND DISTURBANCE BEGINS OR BEFORE THE STORM DRAIN BECOMES OPERATIONAL.

THE EARTH AROUND THE INLET SHALL BE EXCAVATED COMPLETELY TO A DEPTH AT LEAST 18 IN.

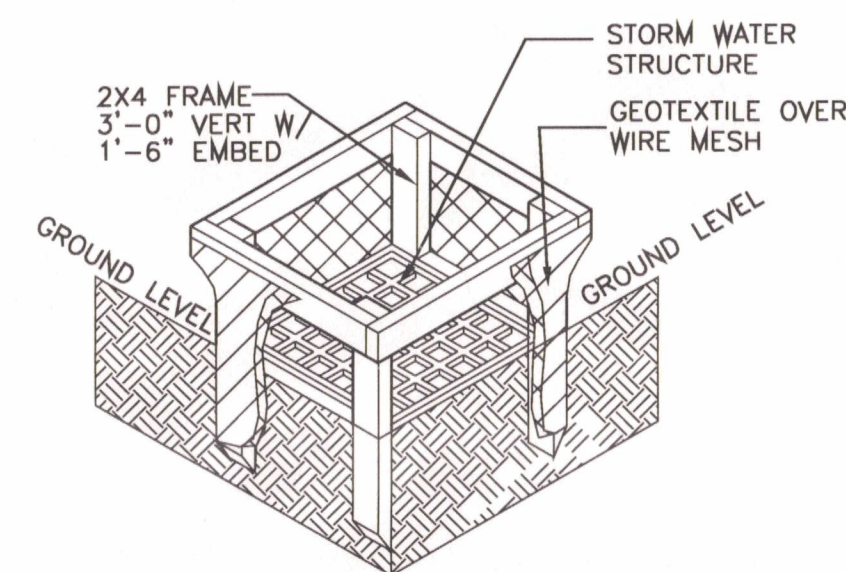
THE WOODEN FRAME SHALL BE CONSTRUCTED OF 2X4 CONSTRUCTION GRADE LUMBER. THE 2X4 POSTS SHALL BE DRIVEN 1'-6" INTO THE GROUND AT FOUR CORNERS OF THE INLET AND THE TOP PORTION OF 2X4 FRAME ASSEMBLED USING THE OVERLAP JOINT SHOWN. THE TOP OF THE FRAME SHALL BE AT LEAST 6" BELOW ADJACENT ROADS IF PONDED WATER WOULD POSE A SAFETY HAZARD TO TRAFFIC.

WIRE MESH SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT FABRIC WITH WATER FULLY IMPOUNDED AGAINST IT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY TO THE FRAME.

GEOTEXTILE SHALL HAVE AN EQUIVALENT OPENING SIZE OF 20-40 SIEVE AND BE RESISTANT TO SUNLIGHT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY. IT SHALL EXTEND FROM THE TOP OF THE FRAME TO 18" BELOW THE INLET NOTCH ELEVATION. THE GEOTEXTILE SHALL OVERLAP ACROSS ONE SIDE OF THE INLET SO THE ENDS OF THE CLOTH ARE NOT FASTENED TO THE SAME POST.

BACKFILL SHALL BE PLACED AROUND THE INLET IN COMPACTED 6" LAYERS UNTIL THE EARTH IS EVEN WITH NOTCH ELEVATION ON ENDS AND TOP ELEVATION ON SIDES.

A COMPACTED EARTH DIKE OR A CHECK DAM SHALL BE CONSTRUCTED IN THE DITCH LINE BELOW THE INLET IF THE INLET IS NOT IN A DEPRESSION AND IF RUNOFF EMPASSING THE INLET WILL NOT FLOW TO A SETTLING POND. THE TOP OF EARTH DIKES SHALL BE AT LEAST 6" HIGHER THAN THE TOP OF THE FRAME.



SEQUENCE OF SEDIMENT AND EROSION CONTROL OPERATIONS

A) INSTALL GRAVEL ACCESS DRIVE AND PERIMETER FILTER (TOPSOIL BERM AND/OR FILTER BARRIER).

B) STRIP TOPSOIL AND UNUSABLE MATERIAL.

C) INSTALL SANITARY SEWER AND WATERMAIN.

D) CONSTRUCT STORM DRAINS. DURING CONSTRUCTION OF STORM DRAINS THE ENDS OF ALL OPEN PIPES SHALL BE PROTECTED BY FILTER BARRIERS OR OTHER APPROVED MEANS.

1) PROMPTLY UPON BACKFILL OF STORM STRUCTURES, FILTER BARRIERS SHALL BE PLACED.

2) CONSTRUCT TEMPORARY SWALES TO DRAINAGE STRUCTURES.

3) WHEN FILTER BARRIERS ARE REMOVED FROM AROUND PAVEMENT CATCH BASINS TO ALLOW FOR STRIPPING, GRADING, AND PAVING, STORM STRUCTURES SHALL BE PROTECTED FROM ERODING EARTH AND SEDIMENT AT ALL TIMES.

E) CONSTRUCT FOUNDATIONS AND ERECT STRUCTURES AND APPURTENANCES.

F) EXECUTE GRADING AND FILLING OPERATIONS AROUND BUILDING AND IN YARD AREAS.

G) EXCAVATE FOR PARKING AND ROADWAYS. IF PLACEMENT OF AGGREGATE BASE LAYS BEHIND THE FINAL SUB-BASE GRADING BY MORE THAN FIVE DAYS, SUB-BASE SHALL BE SCARIFIED PERPENDICULAR TO THE SLOPE TO PREVENT EROSION.

H) UPON COMPLETION OF PAVING, THE AREA AROUND PAVEMENT SHALL BE PROTECTED FROM EROSION BY AN APPROVED METHOD CONSISTENT WITH THE GROWING SEASON.

I) ANY REMAINING EXPOSED AREAS SHALL BE SEEDDED AND MULCHED OR SODDED WITHIN 30 DAYS OF FINAL GRADING.

SEDIMENT AND EROSION CONTROL CRITERIA

IN ORDER TO CONTROL SEDIMENT POLLUTION OF WATER RESOURCES THE OWNER OR PERSON RESPONSIBLE FOR THE DEVELOPMENT AREA SHALL USE CONSERVATION PLANNING AND PRACTICES TO MAINTAIN THE LEVEL OF CONSERVATION ESTABLISHED BY THE FOLLOWING STANDARDS:

TIMING OF SEDIMENT-TRAPPING PRACTICES: SEDIMENT CONTROL PRACTICES SHALL BE FUNCTIONAL THROUGHOUT EARTH-DISTURBING ACTIVITY.

SETTLING FACILITIES, PERIMETER CONTROLS, AND OTHER PRACTICES INTENDED TO TRAP SEDIMENT SHALL BE IMPLEMENTED AS THE FIRST STEP OF GRADING AND WITHIN SEVEN DAYS FROM THE START OF GRUBBING. THEY SHALL CONTINUE TO FUNCTION UNTIL THE UPSLOPE DEVELOPMENT AREA IS RESTABILIZED.

STABILIZATION OF STRIPPED AREAS: STRIPPED AREAS SHALL HAVE SOIL STABILIZATION APPLIED WITHIN SEVEN DAYS IF THEY ARE TO REMAIN DORMANT FOR MORE THAN FORTY-FIVE DAYS. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE, AND SHALL ALSO BE APPLIED WITHIN SEVEN DAYS TO DENUDED AREAS WHICH MAY NOT BE AT FINAL GRADE, BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN FORTY-FIVE DAYS.

SEDIMENT BARRIER: STREET FLOW RUNOFF FROM STRIPPED AREAS SHALL BE FILTERED OR DIVERTED TO A SETTLING FACILITY.

STORM SEWER INLET PROTECTION: ALL STORM SEWER INLETS WHICH ACCEPT WATER RUNOFF FROM THE DEVELOPMENT AREA SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER WILL NOT ENTER THE STORM SEWER SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT, UNLESS THE STORM SEWER SYSTEM DRAINS TO A SETTLING FACILITY.

WORKING IN OR CROSSING STREAMS:
A. STREAMS INCLUDING BED AND BANKS SHALL BE RESTABILIZED IMMEDIATELY AFTER IN-CHANNEL WORK IS COMPLETED, INTERRUPTED, OR STOPPED.

TO THE EXTENT PRACTICAL, CONSTRUCTION VEHICLES SHALL BE KEPT OUT OF STREAMS, WHERE IN-CHANNEL WORK IS NECESSARY, PRECAUTIONS SHALL BE TAKEN TO STABILIZE THE WORK AREA DURING CONSTRUCTION TO MINIMIZE EROSION.

B. IF A LIVE (WET) STREAM MUST BE CROSSED BY CONSTRUCTION VEHICLES REGULARLY DURING CONSTRUCTION, A TEMPORARY STREAM CROSSING SHALL BE PROVIDED.

CONSTRUCTION ACCESS ROUTES: MEASURES SHALL BE TAKEN TO PREVENT SOIL TRANSPORT ONTO SURFACES WHERE RUNOFF IS NOT CHECKED BY SEDIMENT CONTROLS, OR ONTO PUBLIC ROADS.

SLOUGHING AND DUMPING:

A. NO SOIL, ROCK, DEBRIS, OR ANY OTHER MATERIAL SHALL BE DUMPED OR PLACED INTO A WATER RESOURCE OR INTO SUCH PROXIMITY THAT IT MAY READILY SLOUGH, SLIP, OR ERODE INTO A WATER RESOURCE UNLESS SUCH DUMPING OR PLACING IS AUTHORIZED BY THE CITY ENGINEER AND, WHEN APPLICABLE, THE U.S. ARMY CORPS OF ENGINEERS, FOR SUCH PURPOSES AS, BUT NOT LIMITED TO CONSTRUCTION BRIDGES, CULVERTS, AND EROSION CONTROL STRUCTURES.

B. UNSTABLE SOILS PRONE TO SLIPPING OR LANDSLIDING SHALL NOT BE GRADED, EXCAVATED, FILLED OR HAVE LOADS IMPOSED UPON THEM UNLESS THE WORK IS DONE IN ACCORDANCE WITH A QUALIFIED PROFESSIONAL ENGINEER'S RECOMMENDATIONS TO CORRECT, ELIMINATE, OR ADEQUATELY ADDRESS THE PROBLEMS.

CUT AND FILL SLOPES: CUT AND FILL SLOPES SHALL BE CONSTRUCTED IN A MANNER WHICH WILL MINIMIZE EROSION. CONSIDERATION SHALL BE GIVEN TO THE LENGTH AND STEEPNESS OF THE SLOPE, SOIL TYPE, UPSLOPE DRAINAGE AREA, GROUNDWATER CONDITIONS, AND SLOPE STABILIZATION.

STABILIZATION OF OUTFALLS AND CHANNELS: OUTFALLS AND CONSTRUCTION OF MODIFIED CHANNELS SHALL BE DESIGNED AND CONSTRUCTED TO WITHSTAND THE EXPECTED VELOCITY OF FLOW FROM A POST-DEVELOPMENT, TEN-YEAR FREQUENCY STORM WITHOUT ERODING.

ESTABLISHMENT OF PERMANENT VEGETATION: A PERMANENT VEGETATION SHALL NOT BE CONSIDERED ESTABLISHED UNTIL GROUND COVER IS ACHIEVED WHICH, IN THE OPINION OF THE APPROVING AGENCY, PROVIDES ADEQUATE COVER AND IS MATURE ENOUGH TO CONTROL SOIL EROSION SATISFACTORILY AND TO SURVIVE ADVERSE WEATHER CONDITIONS.

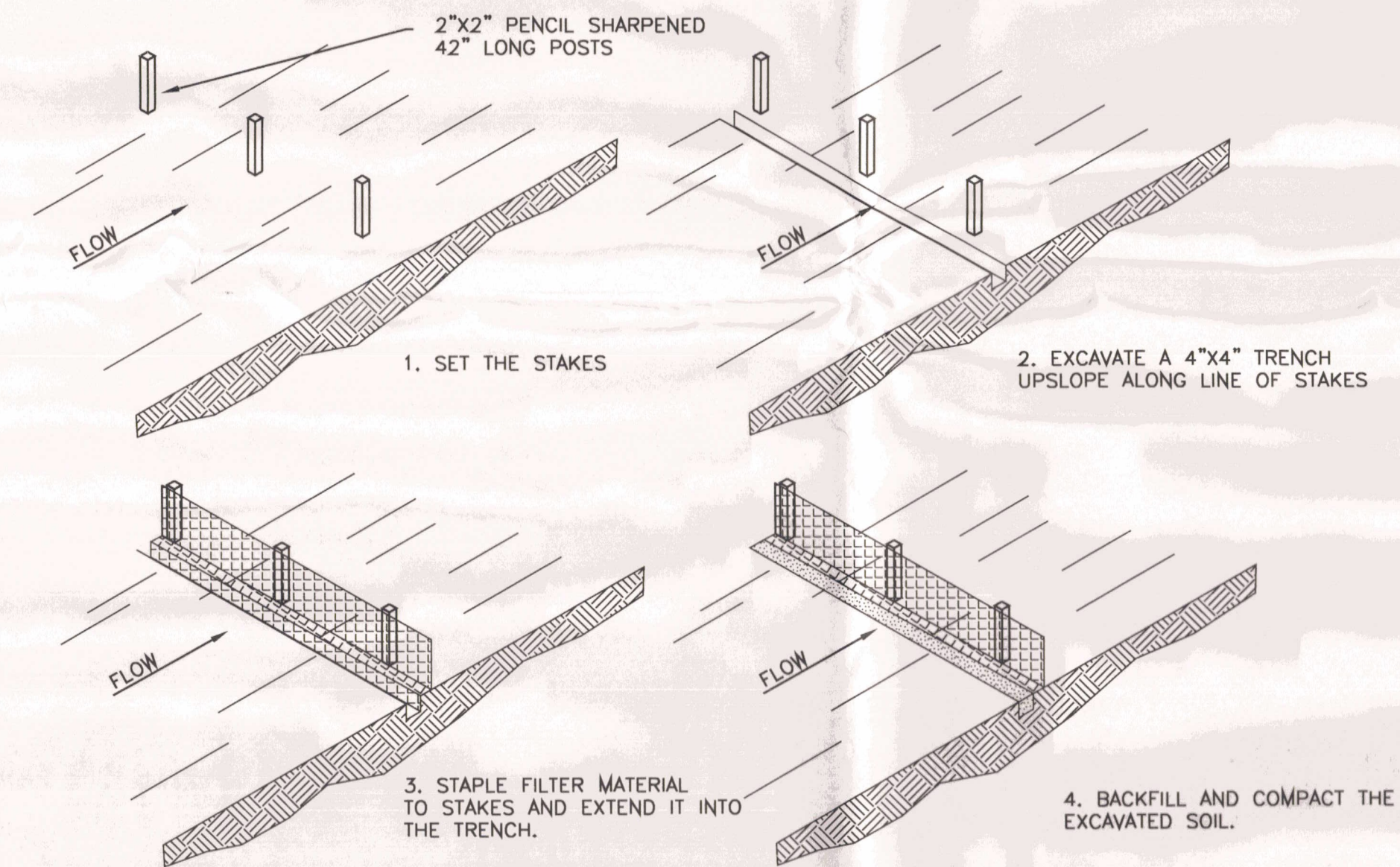
DISPOSITION OF TEMPORARY PRACTICES: ALL TEMPORARY EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DISPOSED OF WITHIN THIRTY DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY PRACTICES ARE NO LONGER NEEDED, UNLESS OTHERWISE AUTHORIZED BY THE APPROVED AGENCY. TRAPPED SEDIMENT SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION.

MAINTENANCE: ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND CONSTRUCTED TO MINIMIZE MAINTENANCE REQUIREMENTS. THEY SHALL BE MAINTAINED AND REPAIRED AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. THE PERSON OR ENTITY RESPONSIBLE FOR THE CONTINUED MAINTENANCE OF PERMANENT EROSION CONTROLS SHALL BE IDENTIFIED TO THE SATISFACTION OF THE PLAN-APPROVING AUTHORITY AND IDENTIFIED BY THE SUBDIVIDER'S AGREEMENT.

THE COST FOR TEMPORARY CHANNELS, SEDIMENT DAMS AND OTHER APPURTENANT EARTH MOVING OPERATIONS SHALL BE INCLUDED IN THE PRICE BID FOR EARTHWORK.

SPECIFICATION FOR SEEDING AND MULCHING

| SEED TYPE | SEEDING RATES | PER 1000 SQ.FT. | PER ACRE |
|---------------------------------|----------------------------|---|--|
| TALL FESCUE AND ANNUAL RYEGRASS | MARCH 1 TO SEPTEMBER 15 | 2 POUNDS & 1/2 POUND | 80 POUNDS & 20 POUNDS |
| SMALL GRAIN STRAW | | 100 POUNDS OR 2 OR 3 BALES | 2 TONS OR 50 BALES |
| FERTILIZER | | 25 POUNDS OF 12-12-12 OR THE EQUIVALENT | 12-12-12 1200 POUNDS OF 12-12-12 OR THE EQUIVALENT |
| TEMPORARY SEEDING | | | |
| RYE OR WHEAT | SEPTEMBER 15 TO OCTOBER 30 | 3 POUNDS | 2 BUSHELS |
| SOIL PROTECTION | | | |
| SMALL GRAIN STRAW MULCH | OCTOBER 30 TO MARCH 1 | 2 TO 3 BALES | 2 TONS |



CONSTRUCTION ENTRANCE DETAIL

CONSTRUCTION SPECIFICATION

STONE SIZE - NO. 1 (3 1/2" TO 1 1/2") OR ITS EQUIVALENT.

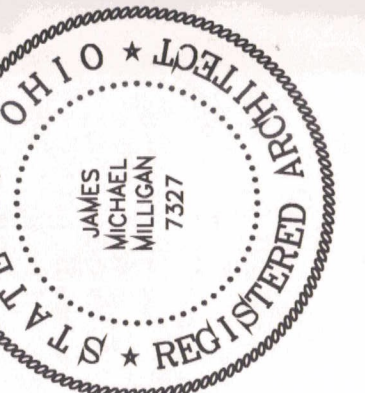
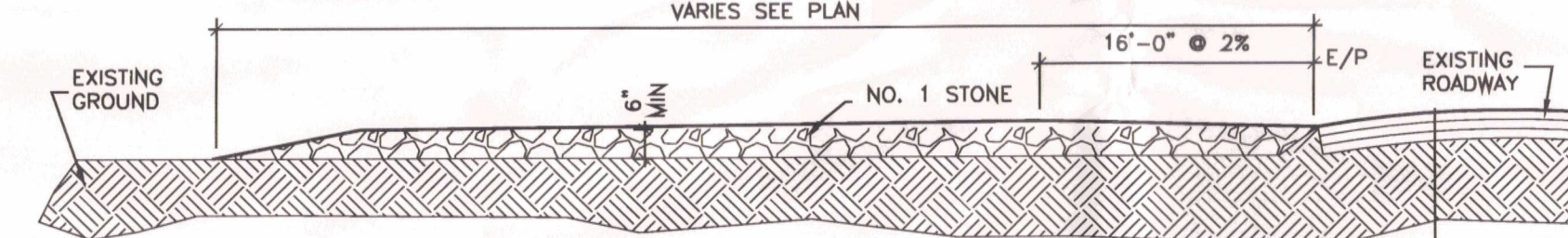
LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.

THICKNESS - NOT LESS THAN SIX (6) INCHES.

WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS (12' MIN ONE-WAY)

WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH USE OF SAND BAGS, GRATEL, BOARDS OR OTHER APPROVED METHODS.

MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.



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| JOB # | 04138 | DRAWN BY | JLC |
| REVISIONS | | | |

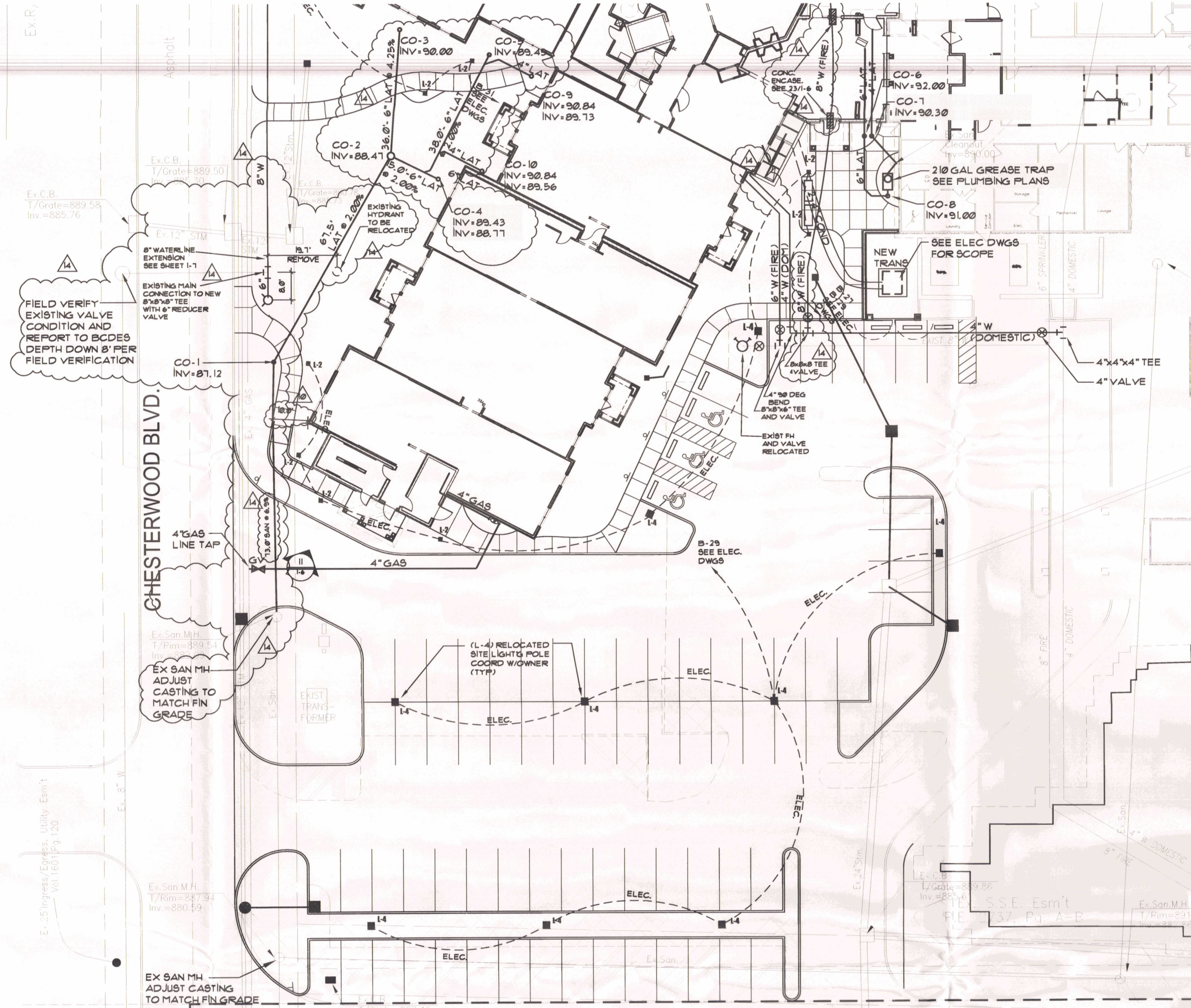
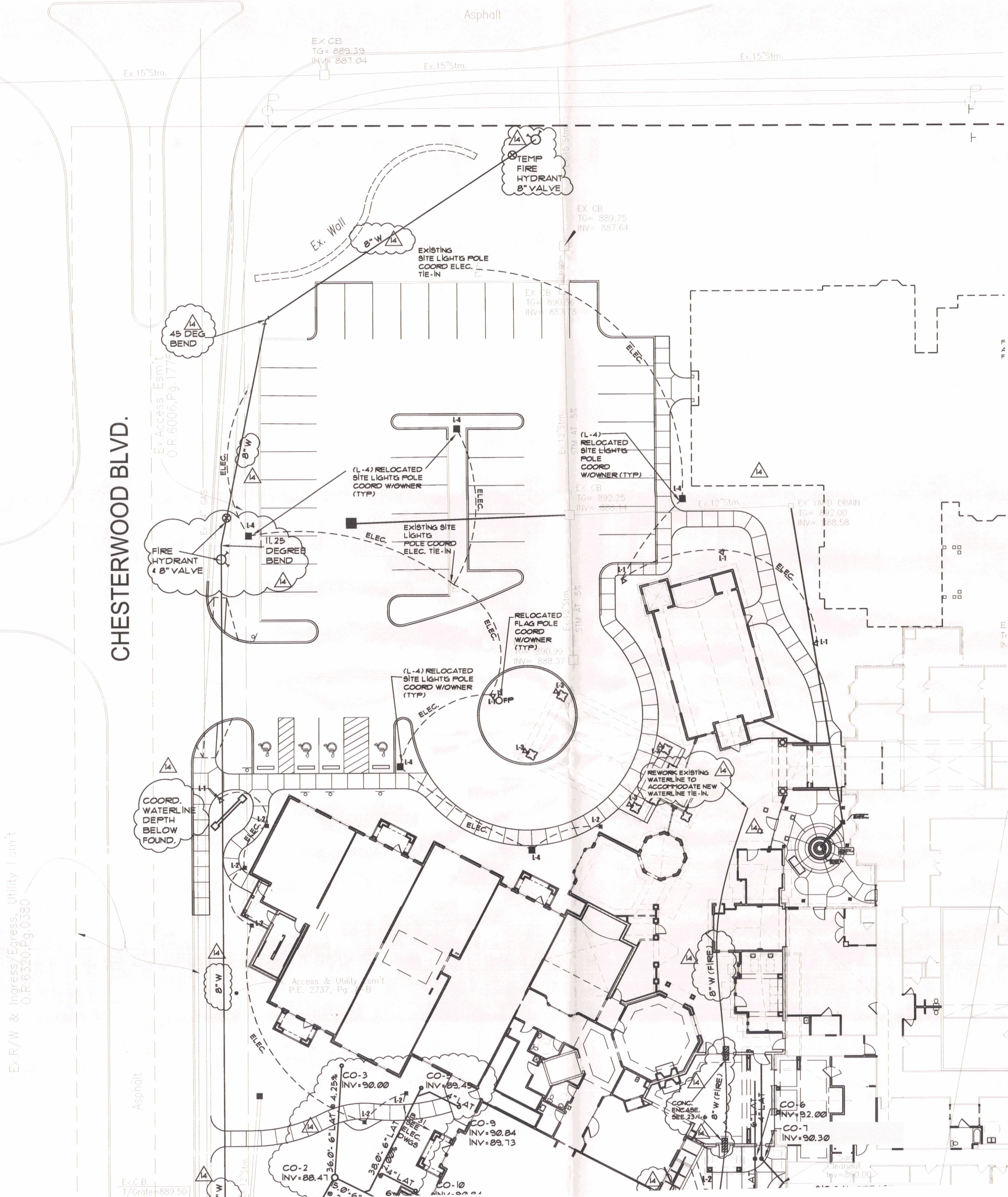
LIGHT CARE ASSISTED LIVING
EROSION CONTROL DETAILS
CHESTERWOOD VILLAGE - PHASE 2
HILLDALE COMMUNITIES
WEST CHESTER, OHIO

JAM ARCHITECTS, INC.
1800 Lurline Drive, Columbus, Ohio 43220
614.291.1800
www.jamarchitects.com

TYLERSVILLE RD.

CHESTERWOOD BLVD.

CHESTER CT.



GENERAL NOTES

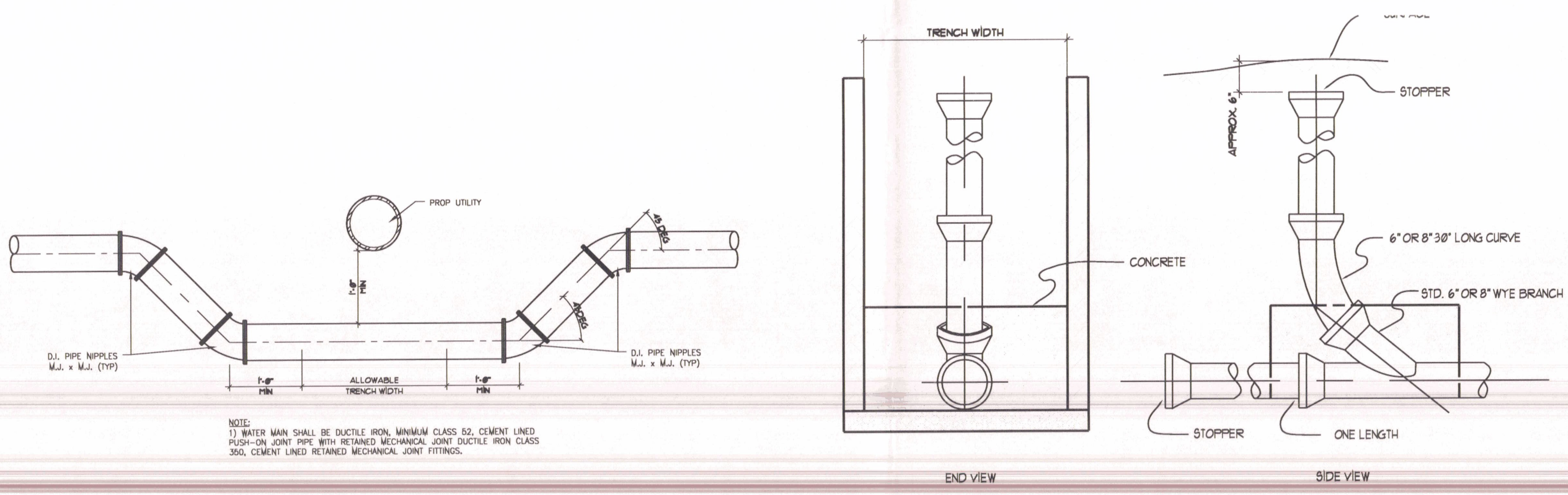
- A. CONTRACTOR SHALL VERIFY DIMENSIONS PRIOR TO BEGINNING OF WORK AND NOTIFY THE ARCHITECT FOR RESOLUTION OF ANY DISCREPANCIES.
- B. CONTRACTORS ARE REQUIRED TO INSPECT THE SITE PRIOR TO BIDDING TO ASCERTAIN ALL ITEM IN EVIDENCE THAT MUST BE ADDRESSED IN COMPLETION OF THE WORK AND INCLUDE THE COST OF THE REQUIRED WORK IN THEIR BID.
- C. ALL UTILITIES AND APPURTANCES SHALL BE CONSTRUCTED ACCORDING TO THE LOCAL CITY OF WESHESTER AND BUTLER COUNTY REQUIREMENTS.
- D. ROOF DRAINS AND OTHER CLEAN WATER CONNECTIONS TO SANITARY SEWER ARE PROHIBITED.
- E. ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS ACCORDING TO THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL NOTIFY THE OHIO UTILITY PROTECTION SERVICE (1-800-362-2164) 48 HOURS PRIOR TO CONSTRUCTION TO OBTAIN ACCURATE FIELD LOCATIONS OF UNDERGROUND UTILITIES.
- F. ALL UTILITIES SHOWN ARE TO REMAIN UNLESS NOTED OTHERWISE.
- G. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY DEPTHS, INVERTS, LOCATIONS ETC. PRIOR TO CONSTRUCTION. HE SHALL NOTIFY THE ARCHITECT IMMEDIATELY, IF THERE ARE ANY DISCREPANCIES.
- G. ADD 800 TO ALL PROPOSED CONTOURS AND SPOT ELEVATIONS.
- H. ALL FILL TO BE USED ON ANOTHER SITE SHALL BE CLEAN FILL ONLY. ALL DEBRIS INCLUDING BUT NOT LIMITED TO CONC, ASPHALT, GRAVEL, ETC. SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL REGULATIONS AND REQUIREMENTS.
- J. SEE ELECTRICAL PLANS FOR SITE LIGHTING FIXTURE SCHEDULE.
 L-1: GROUND MOUNTED BUILDING UPLIGHT FIXTURE. PLANTING BED LOCATION TYP. SEE 4/1-1
 L-2: COURT AND STEEP FIXTURE AT PLANT BED. PROVIDE UNDERGROUND CONDUIT. SEE ELEC DWGS. AND LANDSCAPE SHEETS
 L-3: COACH LIGHT FIXTURE. SEE ELEC DWGS.
 L-4: RELOCATED EXISTING SITE PARKING LIGHTS. COORDINATE CIRCUITING W/ELEC DWGS. MATCH EXISTING H.P. SODIUM LAMPS. SEE 4/1-5
 L-5: FOUNTAIN AND LIGHT. MODEL #10101. SEE ELEC AND PLG DWGS. SEE SHEET 1/1-2 FOR DETAILS.
- K. CONTRACTOR SHALL PROVIDE EROSION CONTROL MEASURES TO COMPLY LOCAL CODE REQUIREMENTS AND SHEET 1-4.

SYMBOLS

| SITE PLAN | | UTILITIES | |
|-----------|-------------------------|-----------|----------------------|
| | DIRECTION OF FLOW | | CATCH BASIN |
| | PROPERTY LINE | | 9TH MANHOLE |
| | EXISTING CONTOUR | | SAN MANHOLE |
| | NEW CONTOUR | | STORM SEWER |
| | SPOT ELEVATION | | SANITARY SEWER |
| | SPOT ELEVATION | | GAS LINE |
| | EXISTING SPOT ELEVATION | | WATER LINE |
| | EXISTING SPOT ELEVATION | | ELEC. LINE |
| | ASPHALT PAVEMENT | | TEL/CAB |
| | CONC SIDEWALK | | TELEPHONE CABLE LINE |

UTILITY PLAN NORTH PARKING
1-5 SCALE: 1"=20'

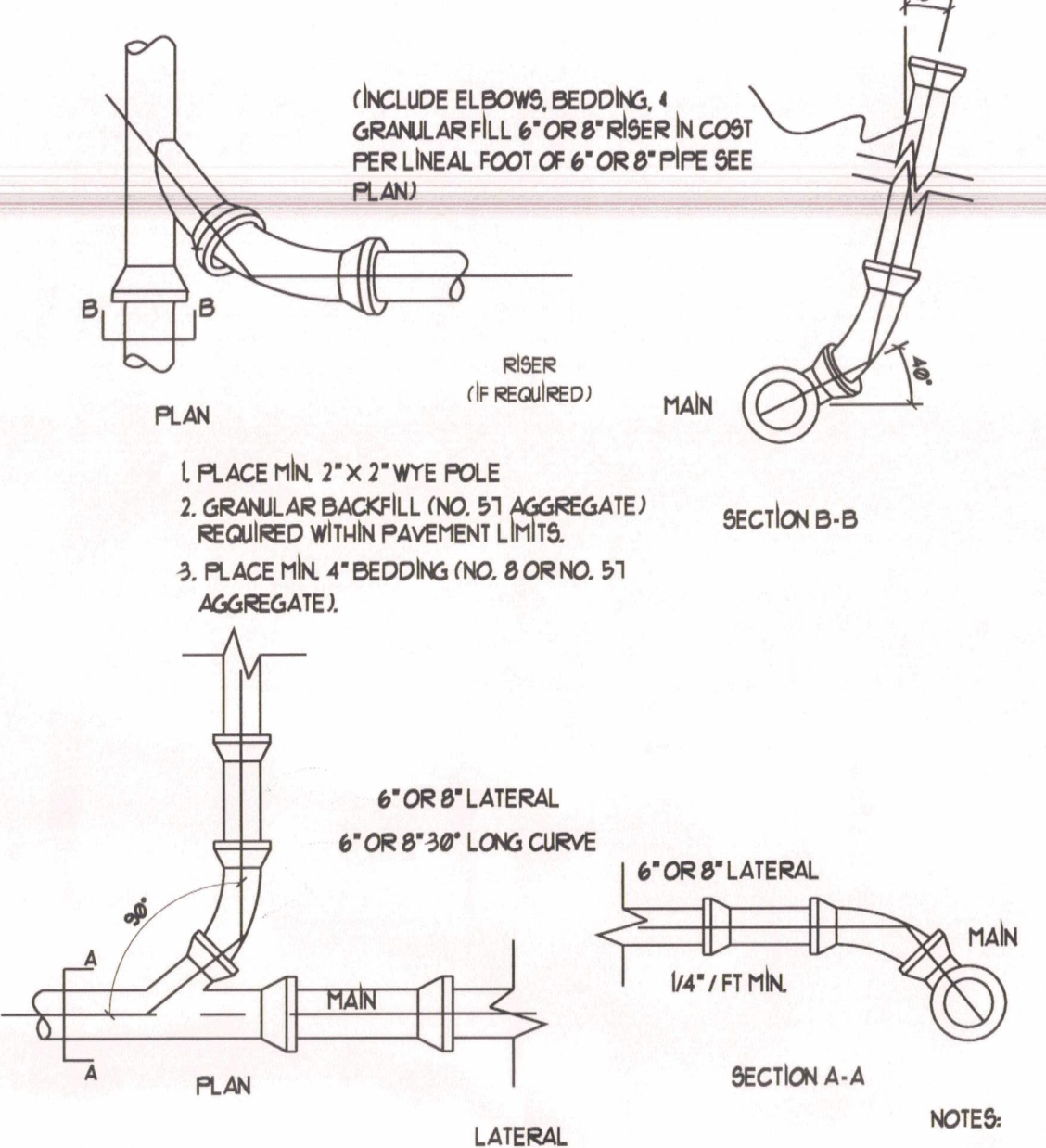
UTILITY PLAN SOUTH PARKING
1-5 SCALE: 1"=20'



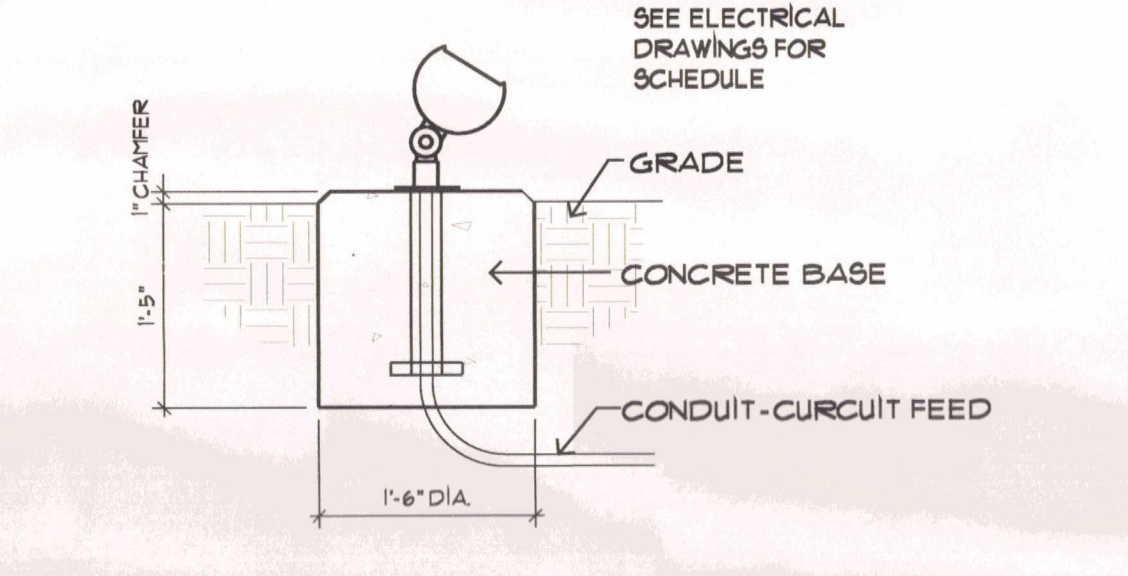
TYPICAL WATERLINE UNDERPASS
1-5 NO SCALE

TYPICAL CLEANOUT
1-5 NO SCALE

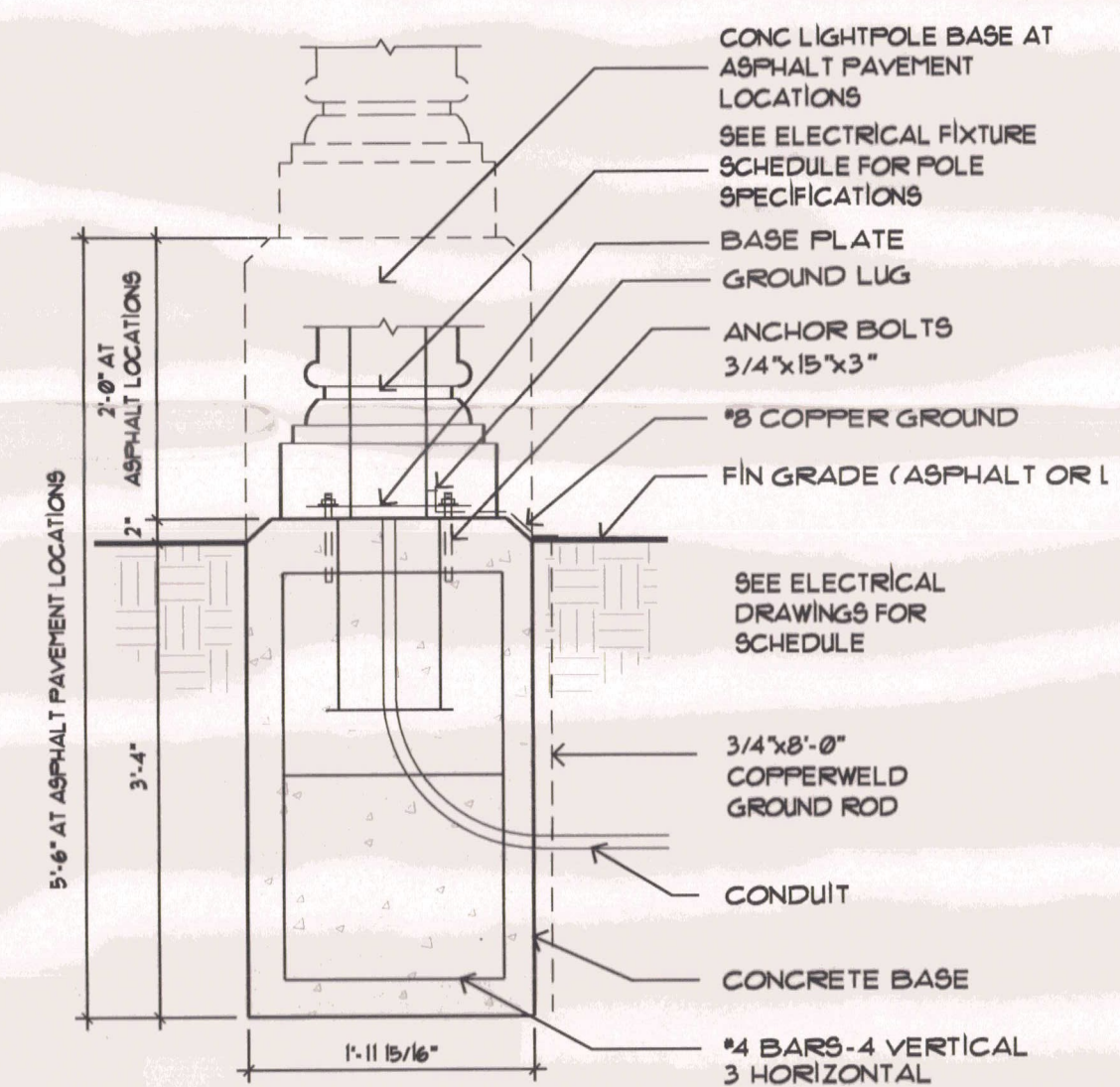
TYPICAL SANITARY MANHOLE
1-5 NO SCALE



TYPICAL SANITARY SERVICE
1-5 NO SCALE



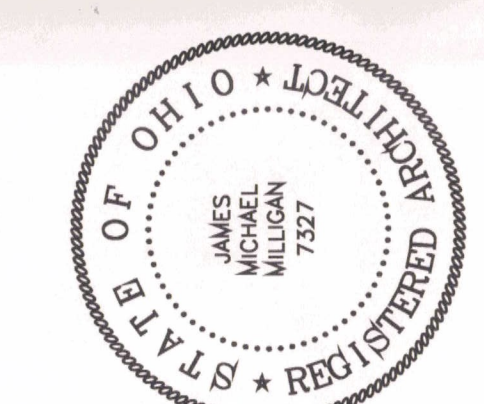
BUILDING LIGHT (L-1)
1-1 SCALE: 3/4"=1'-0"



PARKING LIGHT (L-4)
1-1 SCALE: 3/4"=1'-0"

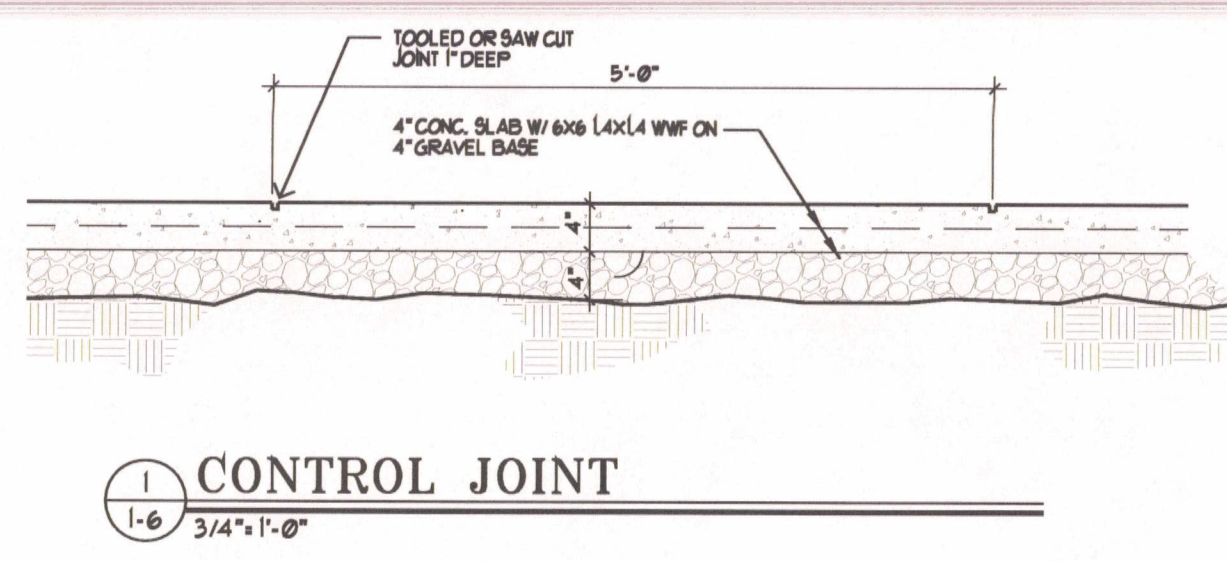
NOTES

GENERAL: Manhole sections shall conform to ASTM C478. Manhole joints shall conform to ASTM C-923. Openings for pipes shall be precast into the manhole sections. Openings shall be filled with "Kor-N-Seal" rubber boots or approved equal. Openings for the inlet and outlet sewer pipe shall be cast in the precast section unless the manhole base is built on an elevation two inches above the top of the outlet pipe. Openings for pipes 18" diameter or less entering the manhole above the spring line of the outlet sewer may be cast in the field provided the portion of the pipe (15" or 18" diam.) inside the manhole is cut to fit the circumference of the manhole. Pipes over 18" diameter entering the manhole above the spring line of the outlet sewer shall be connected to the manhole by a tee connection precast with the barrel of the manhole. All joints of pipe openings in the manhole shall be thoroughly caulked with cement mortar or other suitable material to prevent infiltration of earth into the manhole. MATERIALS: Concrete for the manhole base and connection box shall be class "C". Precast reinl. conc. manhole sections and domes shall comply with the requirements of 705.1.3. Minimum wall thickness shall be 5 inches for 48" sections and 6 inches for 60" sections. 1 1/4" holes for handling may be cast in domes and sections. Sections may be set with tongue and groove or with a flange. Manhole castings shall be Neenah R-1762, Form and Cover with self sealing gasket, or approved equal. STEPS shall meet the requirements of 604. Manhole steps shall be vertically aligned and may be aluminum or reinforced plastic. Manhole steps must be precast in place. Reinforcing steel shall have 2 inch clearance except where otherwise specified. Bulkheads shall be constructed by providing PVC cap & timber blocking.

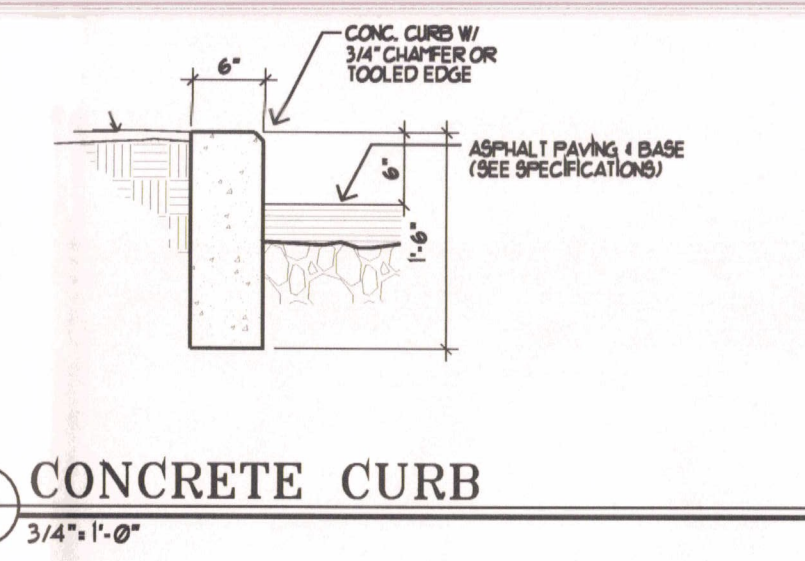


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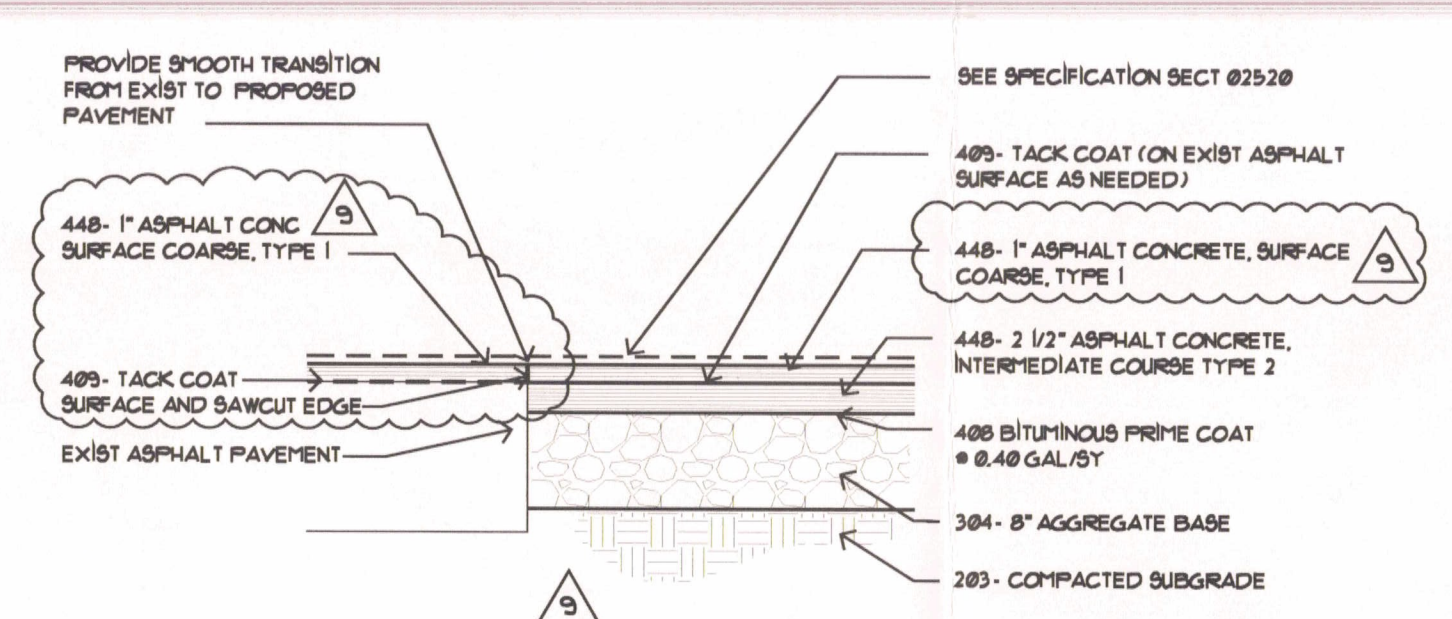
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 PROJECT: LIGHT CARE ASSISTED LIVING UTILITY PLAN
 CHESTERWOOD VILLAGE - PHASE 2
 HILLDALE COMMUNITIES
 WEST CHESTER, OHIO
 (614) 322-2000 FAX: (614) 322-2008



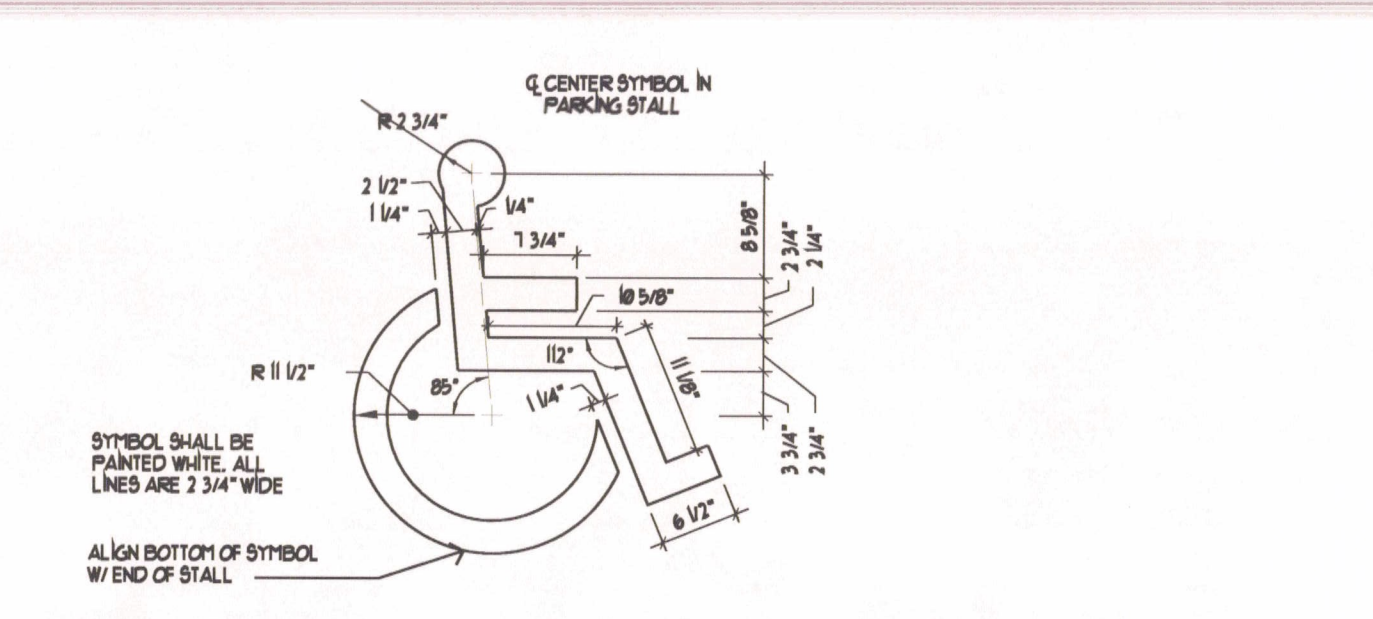
1 CONTROL JOINT
1-6 3/4" x 1'-0"



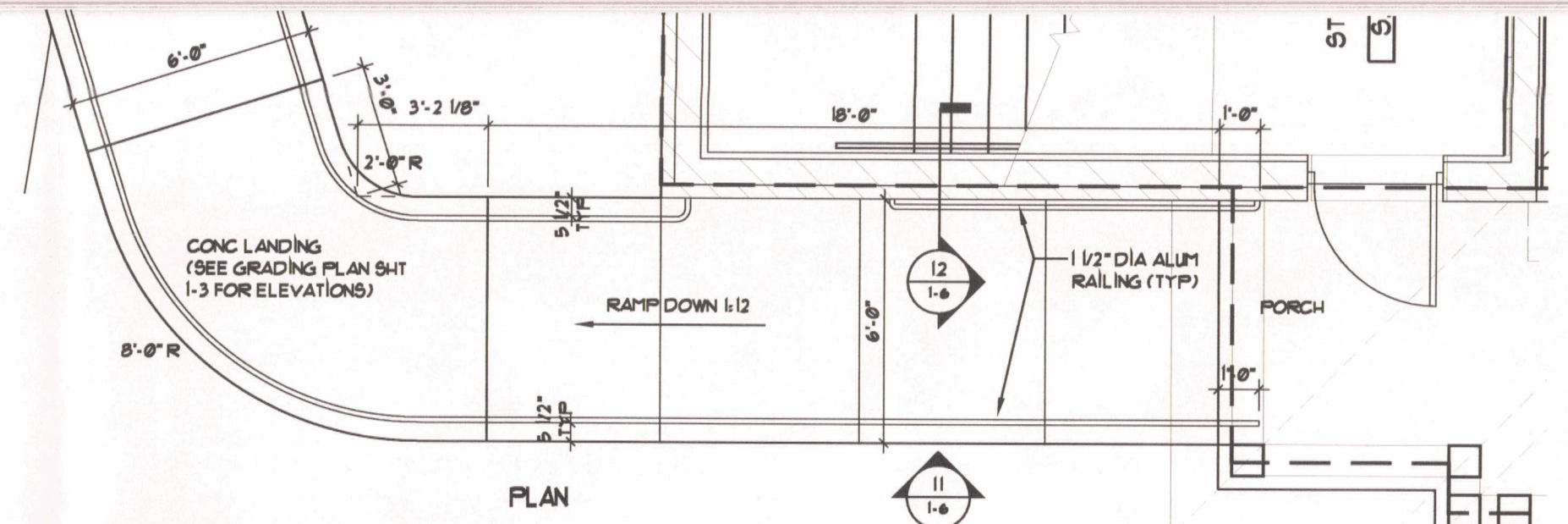
4 CONCRETE CURB
1-6 3/4" x 1'-0"



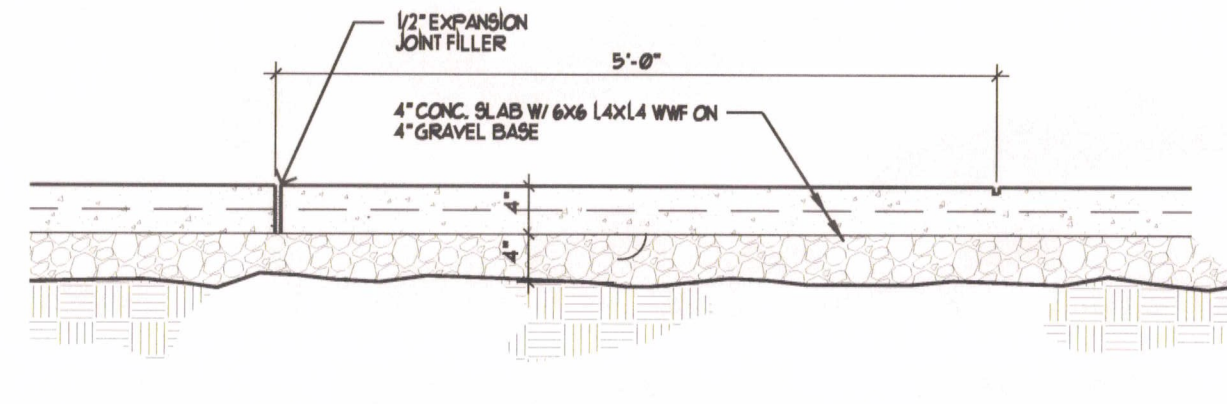
7 NEW 1" OVERLAY AT EXISTING
1-6 3/4" x 1'-0" TYPICAL AT SOUTH LOT. OVERLAY TO FULL DEPTH TRANSITION



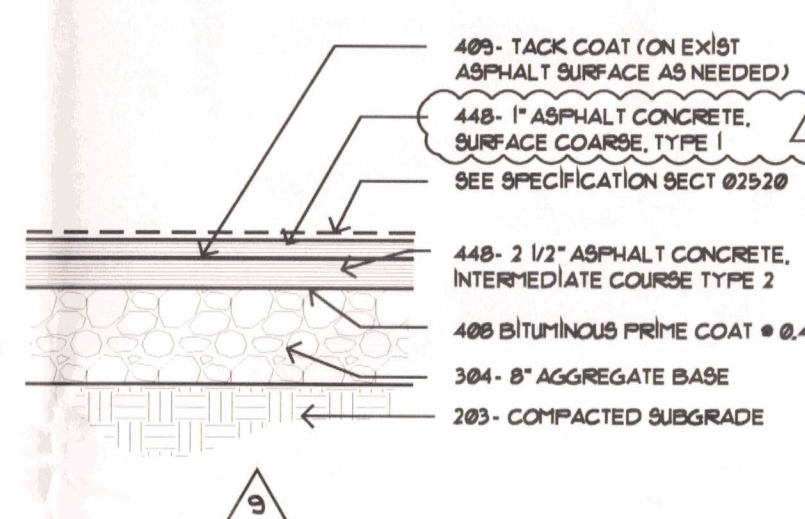
9 INTERNATIONAL SYMBOL OF ACCESSIBILITY
1-6 3/4" x 1'-0"



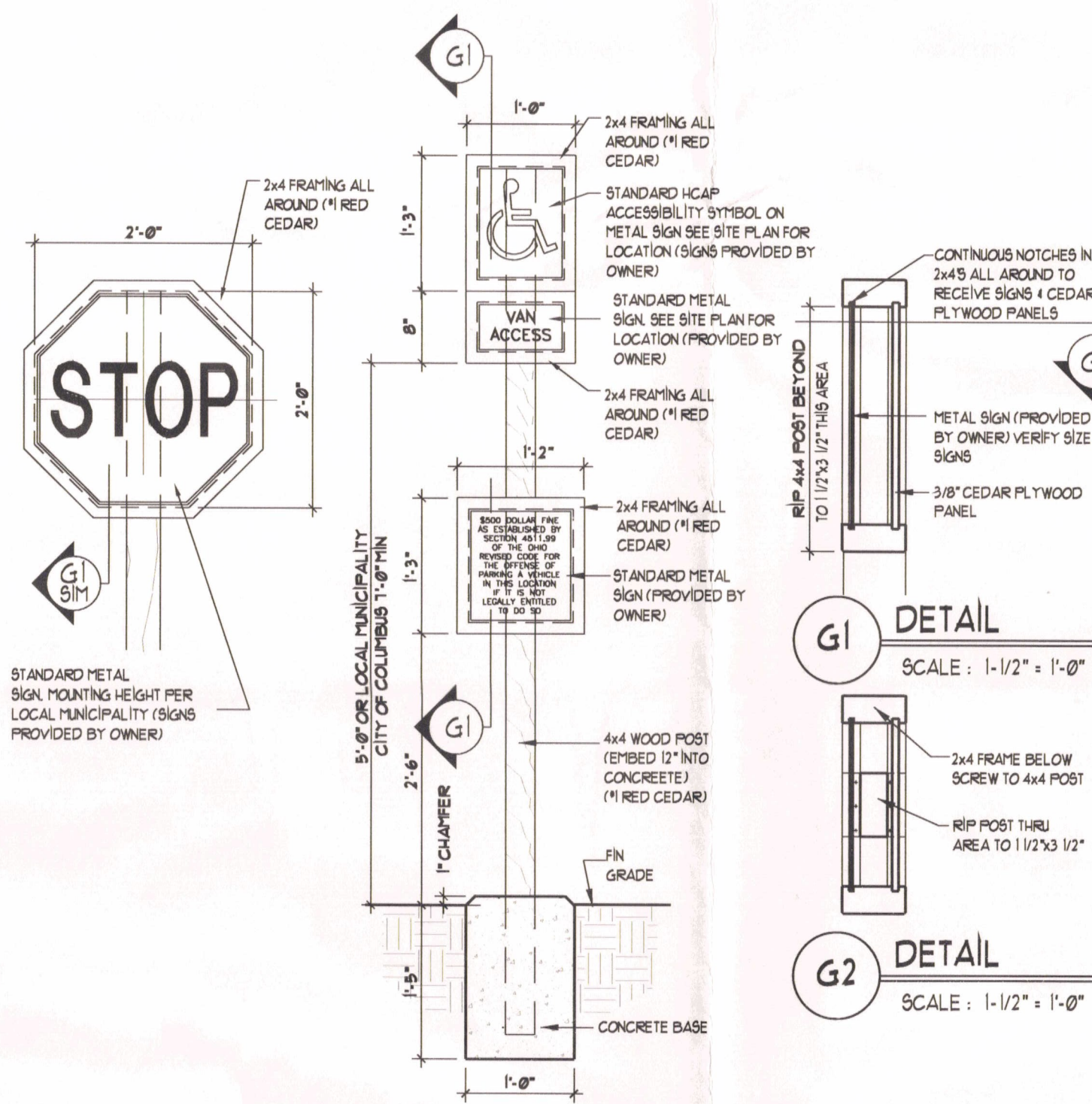
10 RAMP/HANDRAIL
1-6 1/4" x 1'-0"



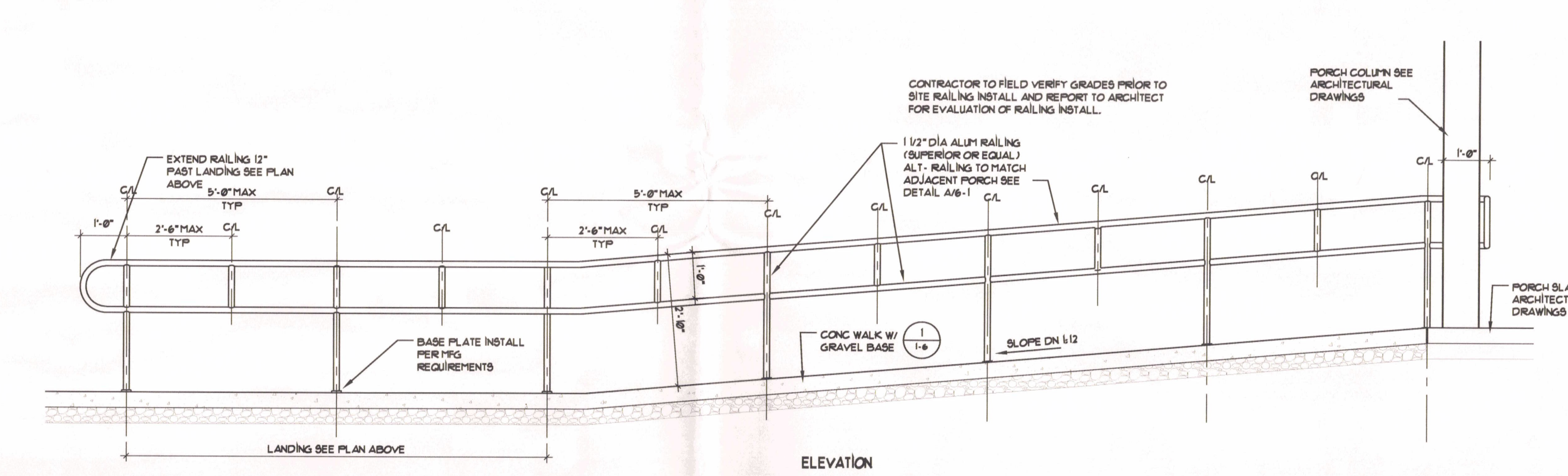
2 EXPANSION JOINT
1-6 3/4" x 1'-0"



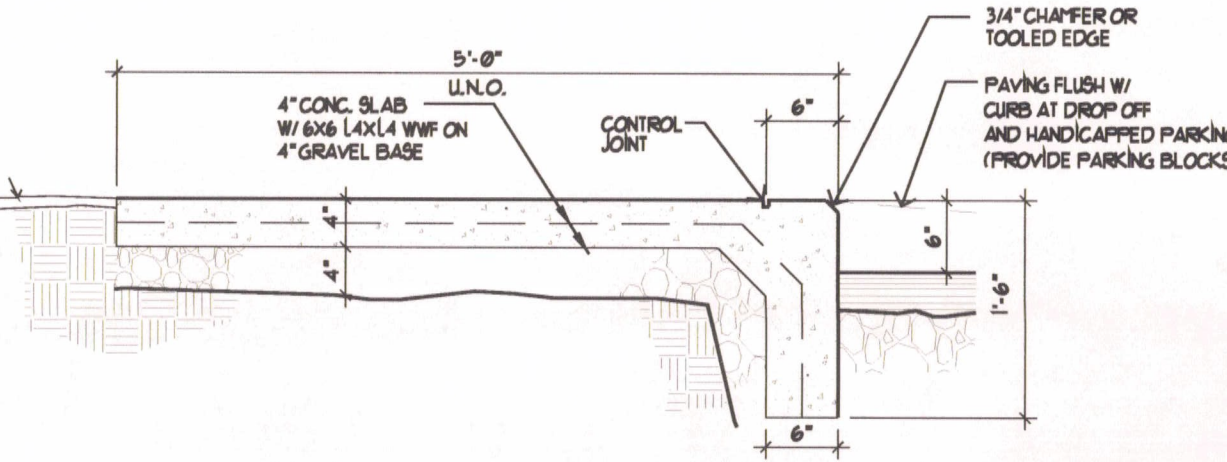
5 FULL DEPTH ASPHALT PAVEMENT
1-6 3/4" x 1'-0" TYPICAL AT NORTH LOT - PATCHES TO EXISTING (PORTION OF NEW SOIL)



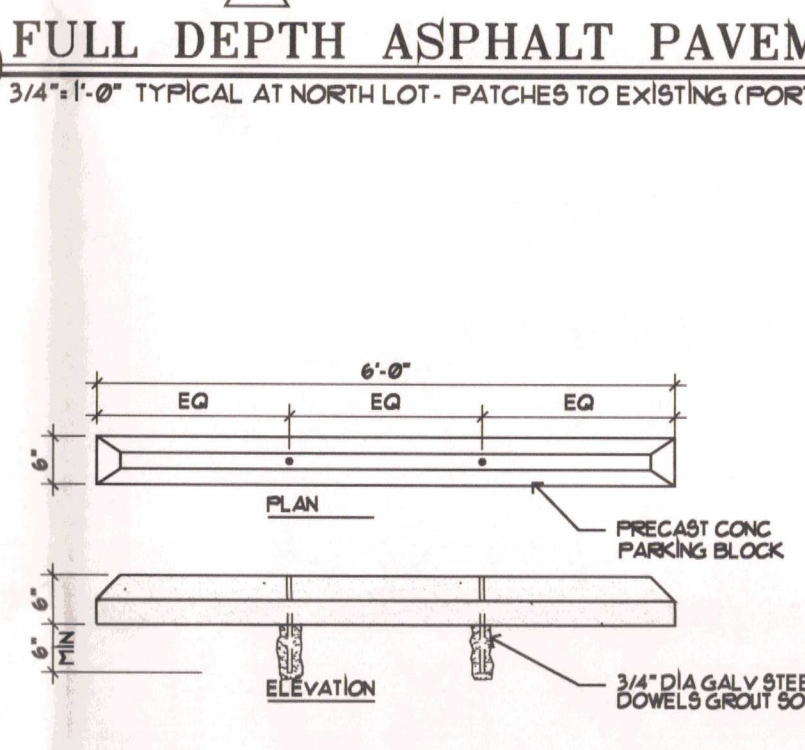
8 HANDICAP PARKING SIGN, STOP SIGN
1-6 3/4" x 1'-0"



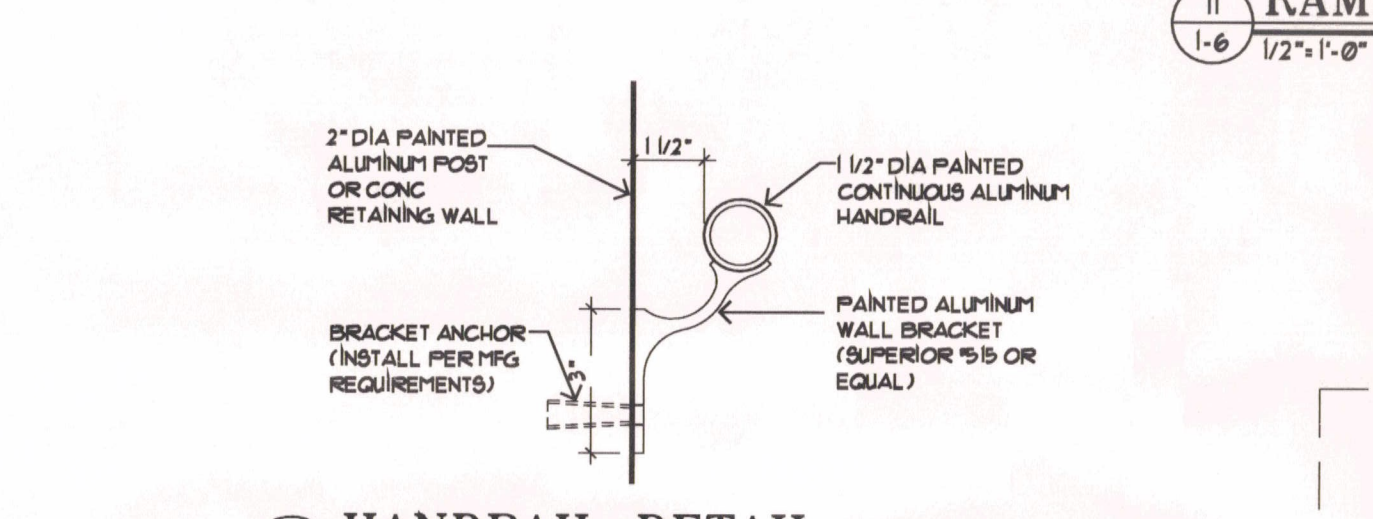
11 RAMP/HANDRAIL
1-6 1/2" x 1'-0" AT WING B EGRESS STOOP



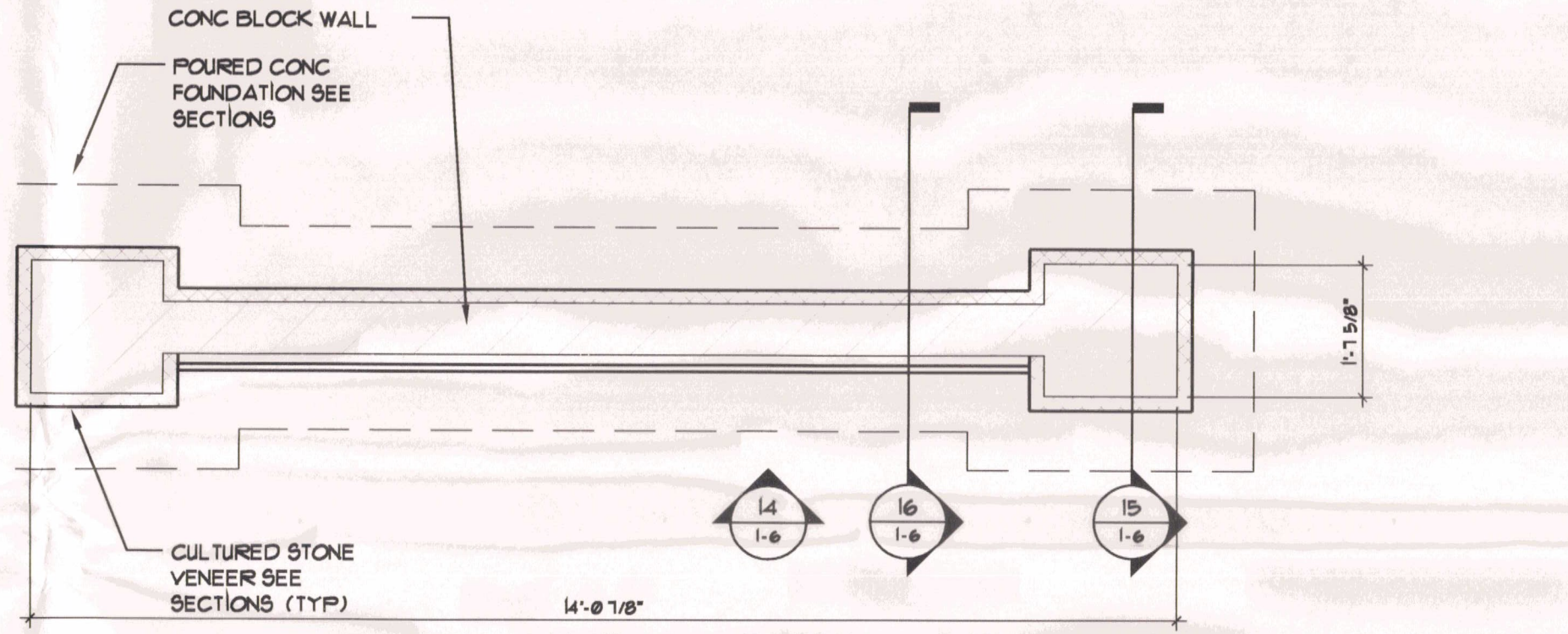
3 INTEGRAL CURB AND WALK
1-6 3/4" x 1'-0"



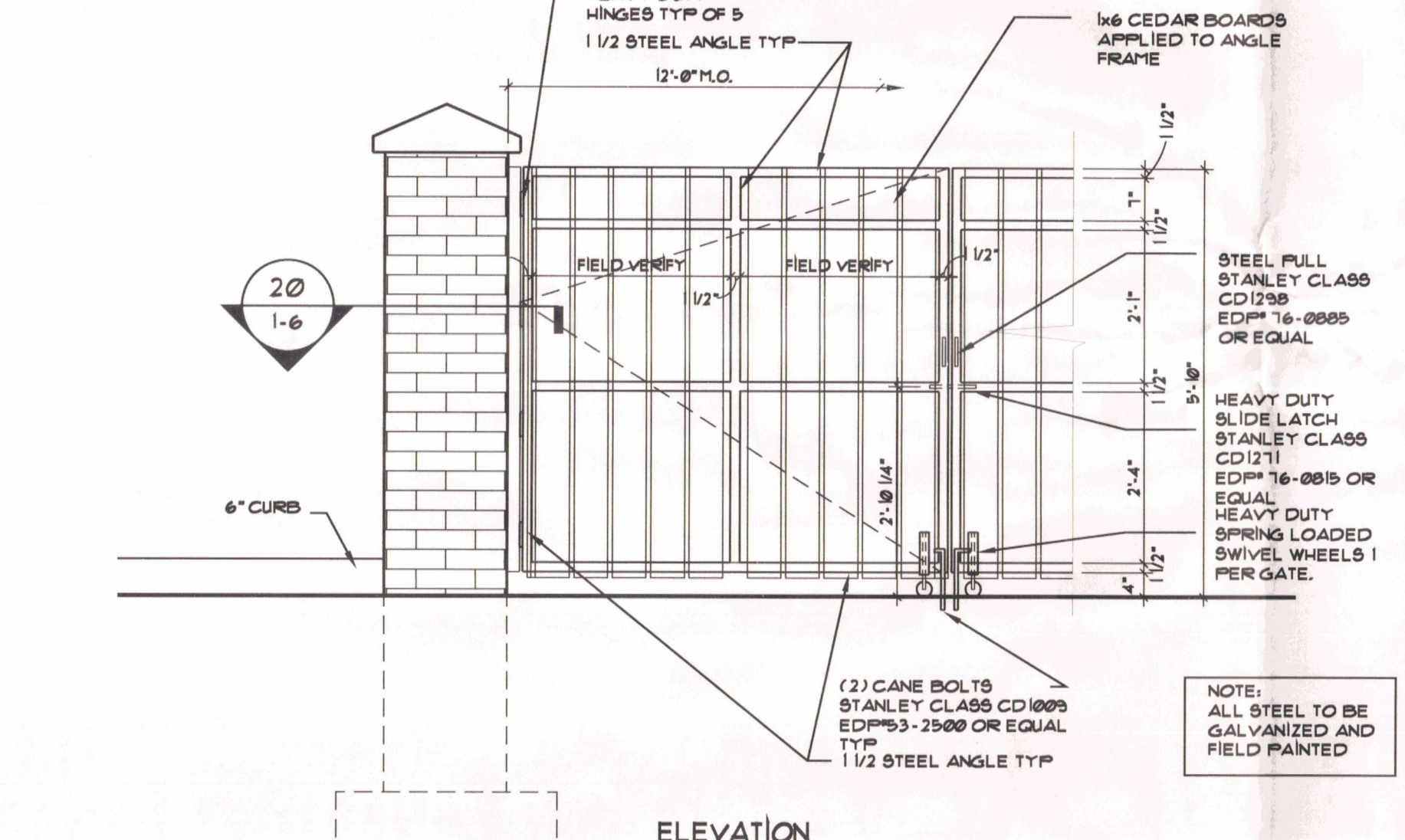
6 CONCRETE PARKING BLOCK
1-6 1/2" x 1'-0"



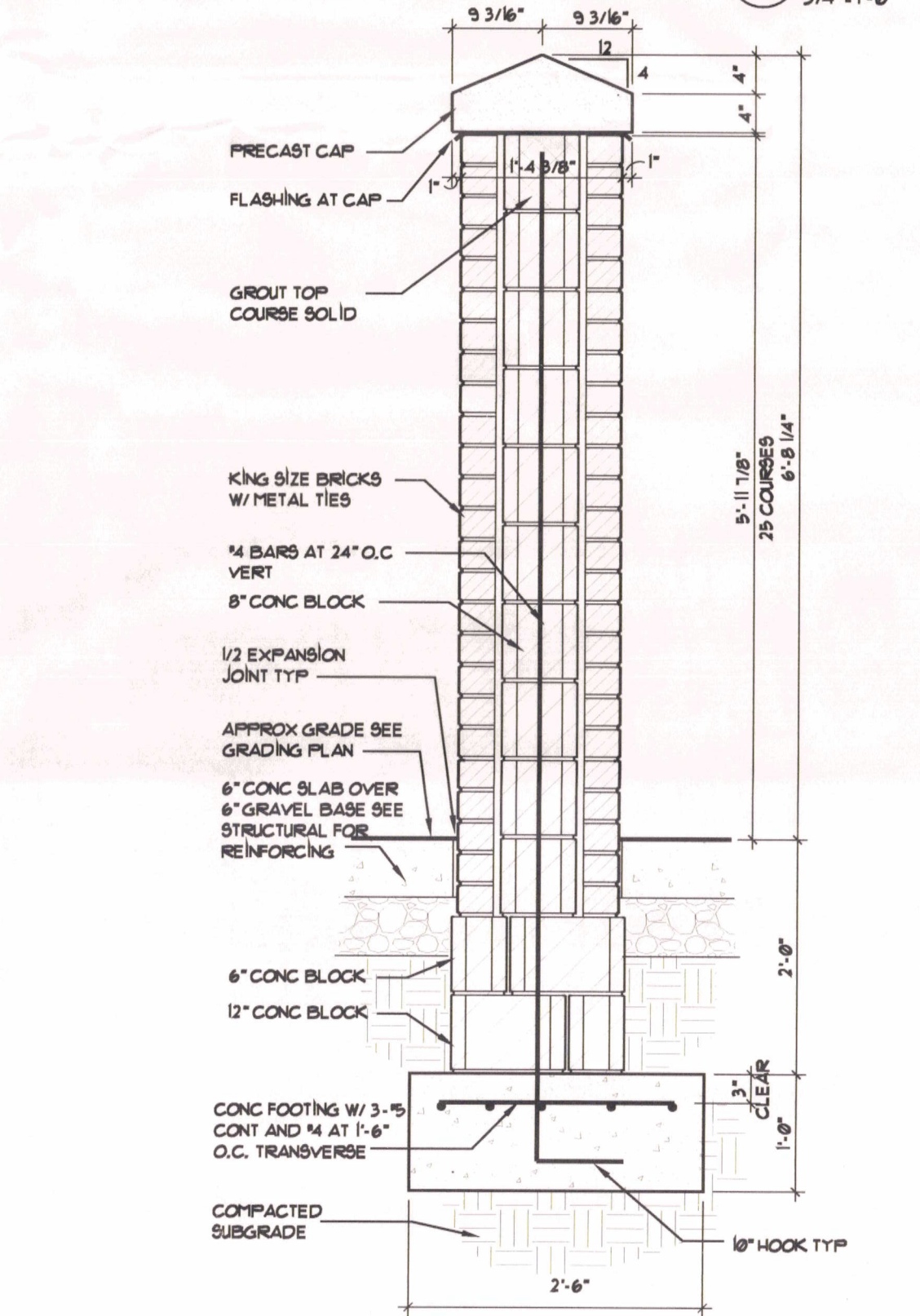
12 HANDRAIL DETAIL
1-6 1/2" x 1'-0"



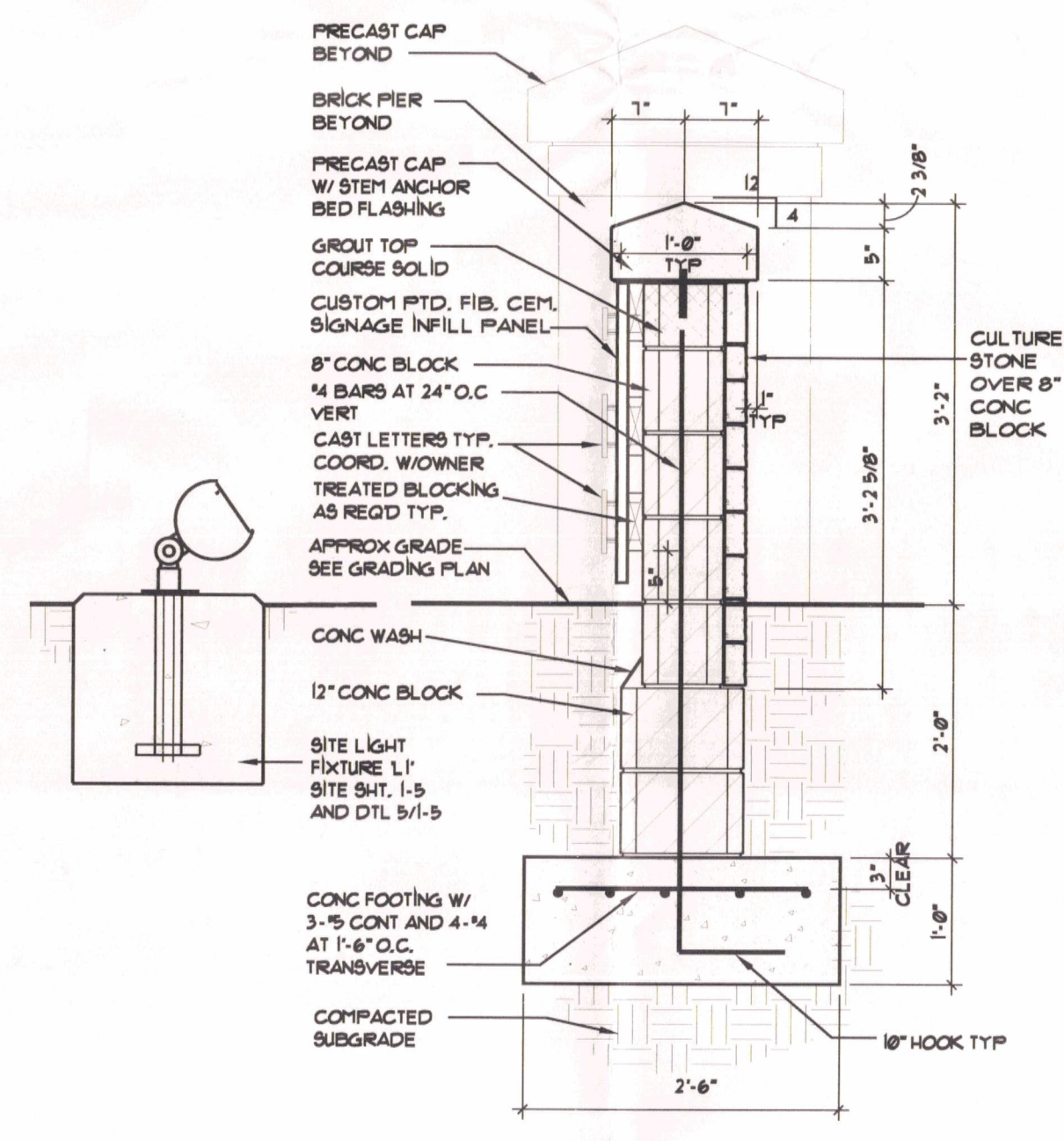
13 ENTRANCE SIGN (PLAN)
1-6 SCALE: 1/2" x 1'-0"



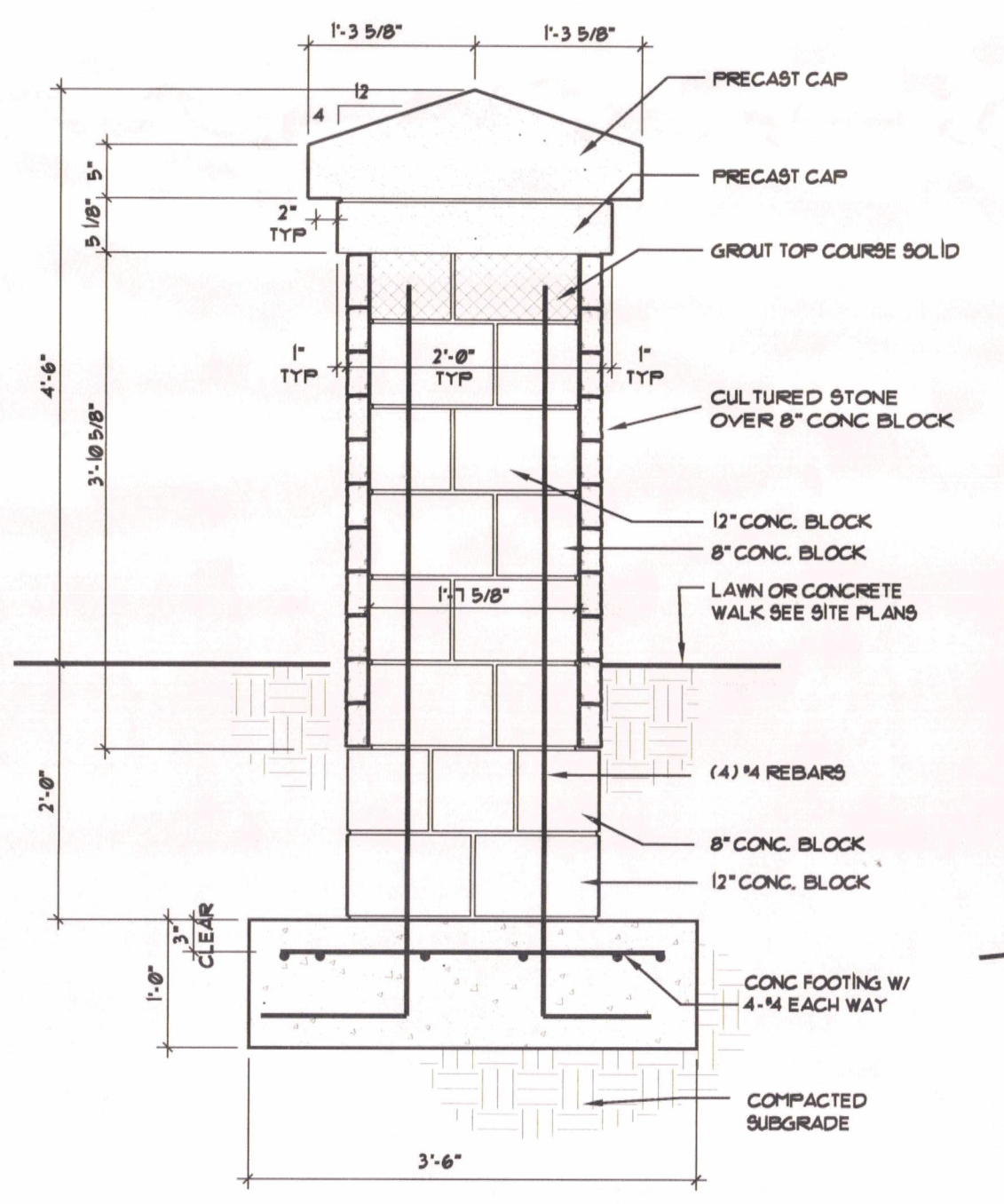
20 EQUIP ACCESS GATE
1-6 1/2" x 1'-0" TRANSFORMER SCREEN WALL



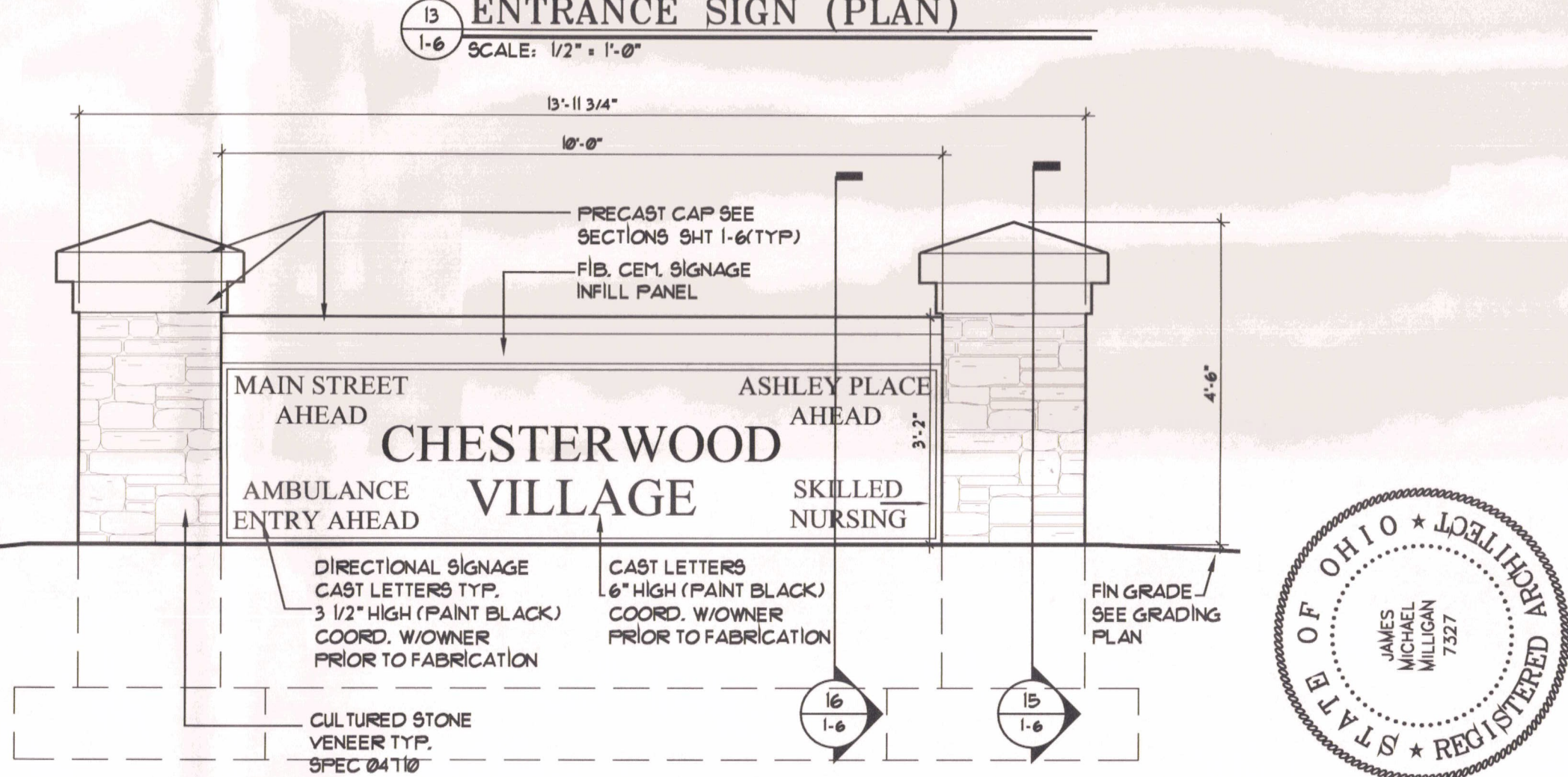
16 SIGNAGE INFILL WALL
1-6 3/4" x 1'-0"



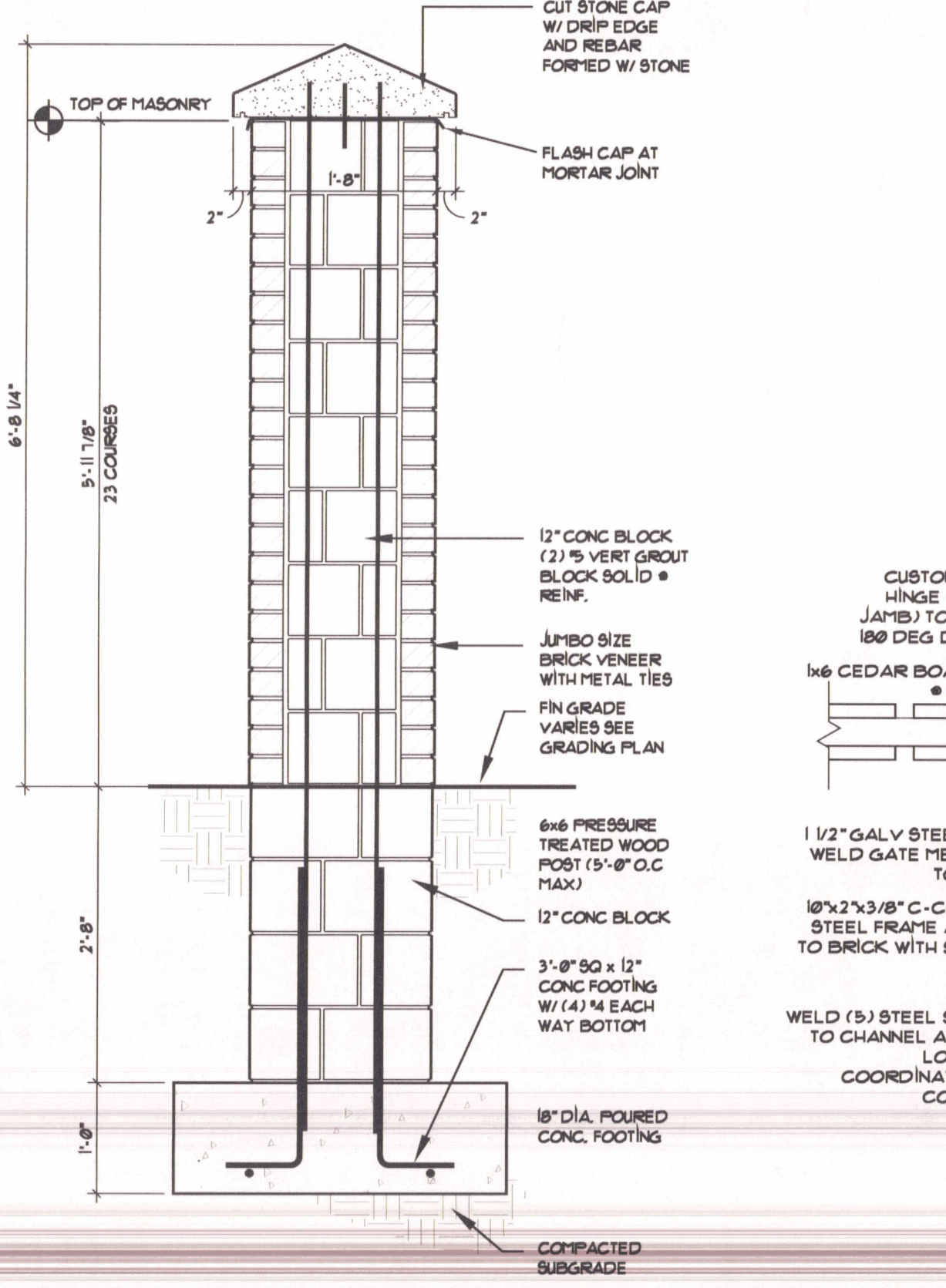
17 SIGNAGE INFILL WALL
1-6 3/4" x 1'-0" TRANSFORMER EQUIP. SCREEN WALL



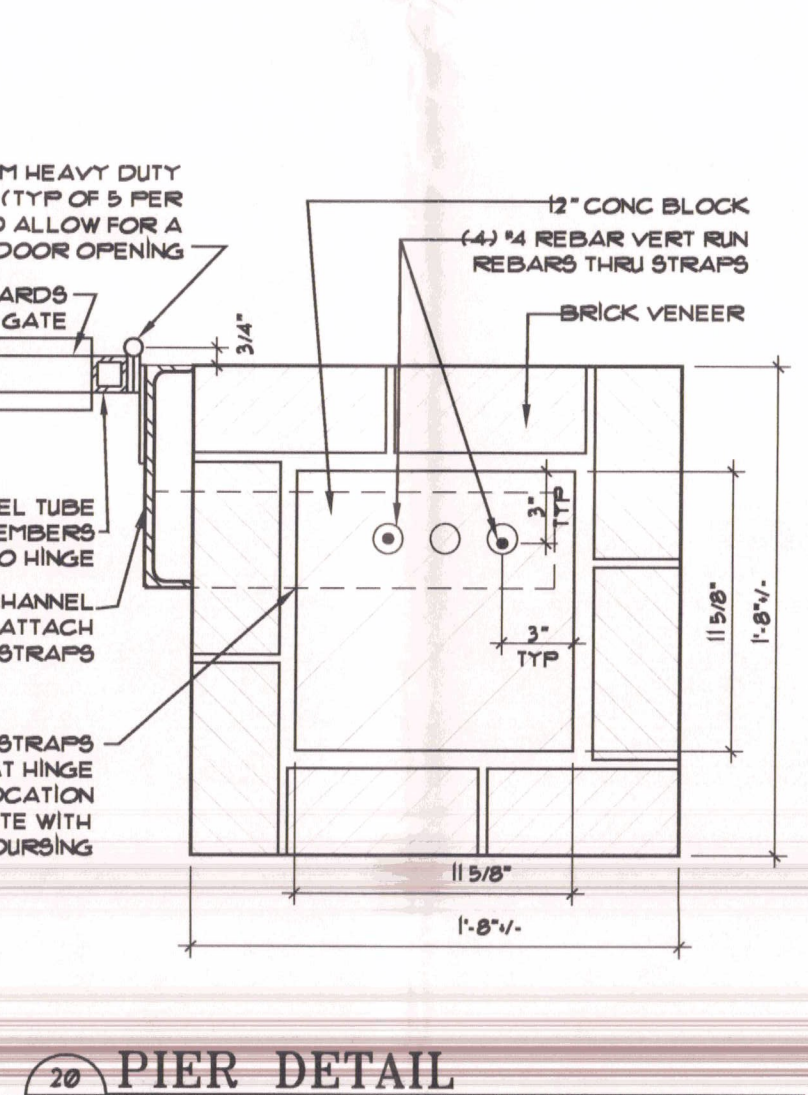
15 SIGNAGE PIER DTL
1-6 3/4" x 1'-0"



14 ENTRANCE SIGN (ELEVATION)
1-6 SCALE: 1/2" x 1'-0"



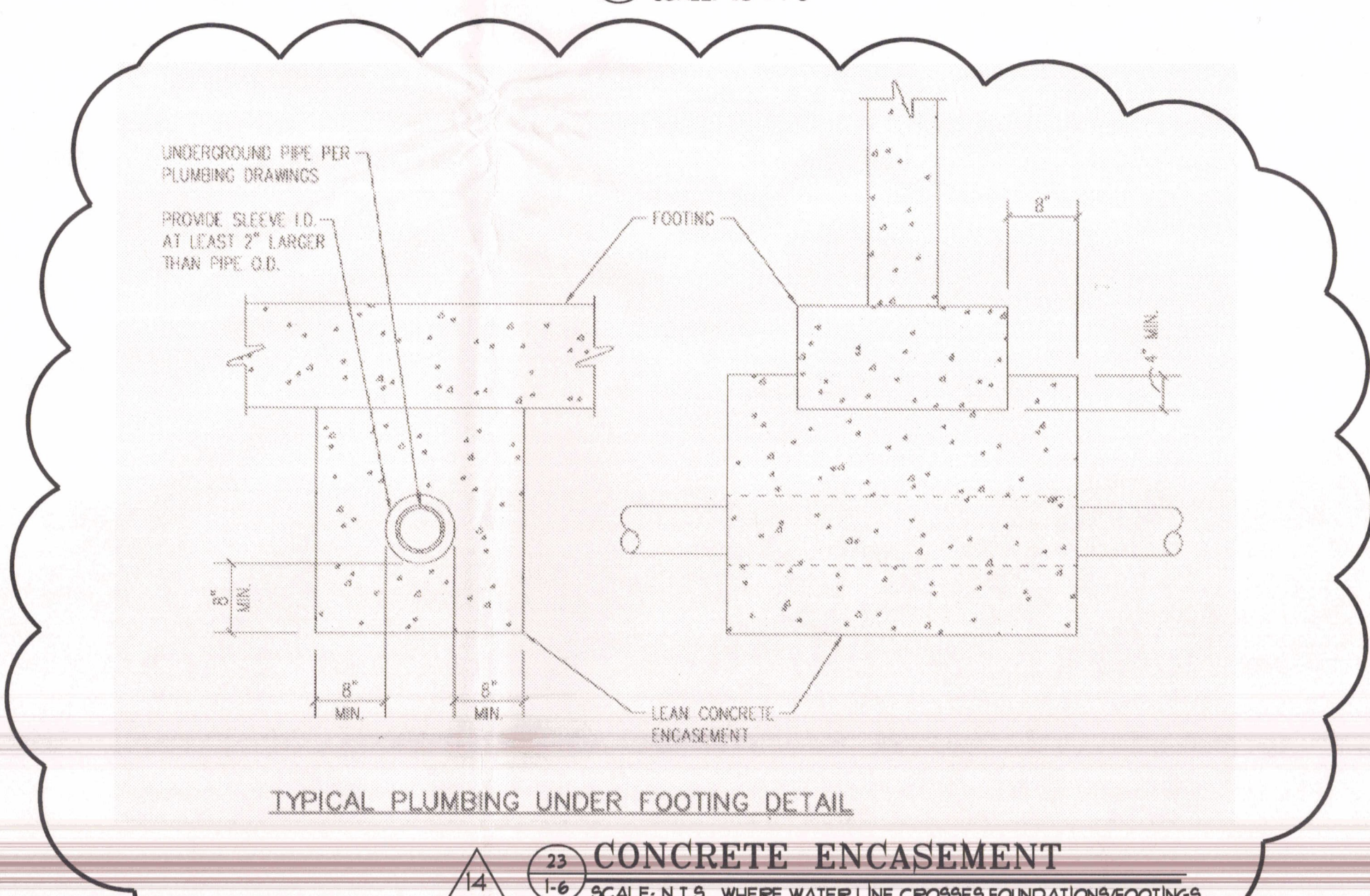
18 SCREEN WALL
1-6 3/4" x 1'-0" TRANSFORMER EQUIP. SCREEN WALL



21 PAVEMENT OVERLAY
1-6 3/4" x 1'-0"



22 NOT REQUIRED CONTROL MANHOLE
1-6 SCALE: N.T.S. - PROVIDED BY CODES STANDARD DETAILS

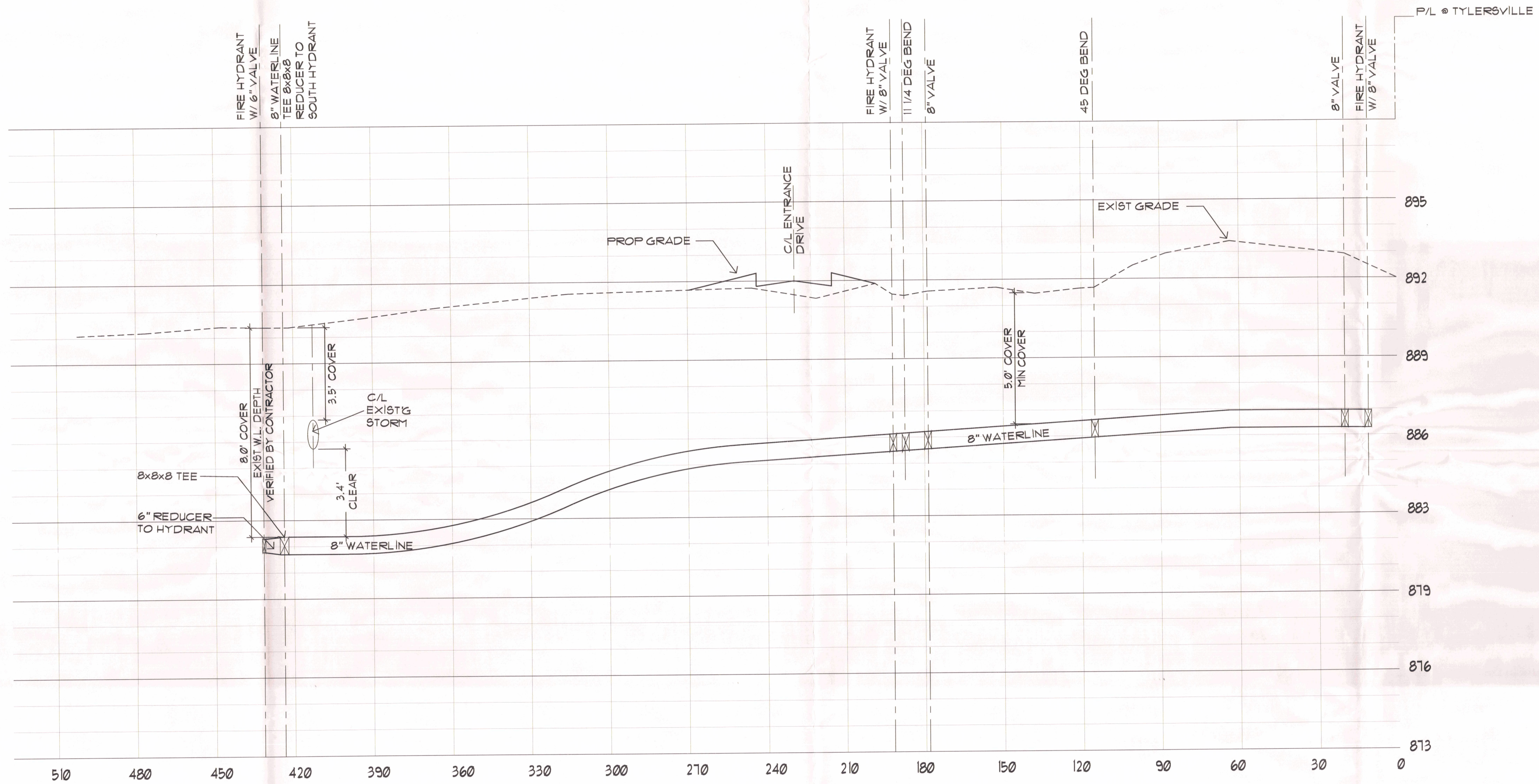


23 CONCRETE ENCASUREMENT
1-6 SCALE: N.T.S. WHERE WATER LINE CROSSES FOUNDATIONS/FOOTINGS



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| | | | |
|---|---------|----------|---------|
| DATE | 1-23-07 | CHECKED | STC |
| JOB # | 04-13B | DRAWN BY | J.L.C. |
| REVISIONS | | DATE | 5/10/07 |
| LIGHT CARE ASSISTED LIVING SITE DETAILS CHESTERWOOD VILLAGE - PHASE 2 HILLDALE COMMUNITIES WEST CHESTER, OHIO | | | |



WATERLINE PROFILE
 SCALE: 1" = 20'-0" (PROFILE HORIZ. 1 UNIT = 30' VERT. 1 UNIT = 1')

WATERLINE PROFILES



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| | | |
|-----------------|-----------------|--------------------|
| DATE 1-23-07 | CHECKED STG | REVISIONS |
| JOB # 0413B | DRAWN BY JLC | DATE #1 5/10/07 |

EXTENDED EXISTING MAIN
 WATERLINE PROFILE
 CHESTERWOOD VILLAGE - PHASE 2
 HILLDALE COMMUNITIES
 WEST CHESTER, OHIO

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 ARCHITECTS, INC.
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