

West Chester Township Chester Township, Butler County  
June 14, 2024

### REQUEST FOR COMMENTS

**Vicki Stacey** has requested a variance from Article 11.11 to permit a covered patio to extend to the side property line. Property is on a corner lot and is located in an R-PUD (Residential Planned Unit Development) District. **Case #: BZA 24-11.** The subject case is scheduled to be heard by the West Chester Township Board of Zoning Appeals on **July 8, 2024.**

**Please return all comments to us by June 24, 2024.**

Please submit any comments relevant to the case that may be included in the Community Development Department staff report. Your comments can be faxed or emailed to:

**Bryan Hellard**  
West Chester Township  
Community Development Department  
9577 Beckett Road, Suite 100  
West Chester, OH 45069  
bhellard@westchesteroh.org  
Fax: (513) 874-6804

Thank you for your input.

- Chief Prinz, West Chester Township Fire Department
- Eric Pottenger, Butler County Engineer's Office (Res)
- Chris Palmer, Butler County Engineer's Office (Comm)
- Riley Boeddeker, Butler County Soil & Water Conservation District
- Steven Thompson, Butler County Environmental Services
- Carrie Yeager, Butler County Health Department
- Arun Hindupur, West Chester Township Community Services Department
- Chief Herzog, West Chester Police Department
- Permits Office, ODOT
- Uche Adigwe, Butler County Building Department

Comments:

**APPLICATION FOR A ZONING VARIANCE  
TO THE BOARD OF ZONING APPEALS  
WEST CHESTER TOWNSHIP COMMUNITY DEVELOPMENT DEPARTMENT  
9577 Beckett Road Suite 100, West Chester, Ohio 45069  
Telephone: (513) 777-4214**

FOR WEST CHESTER TOWNSHIP COMMUNITY DEVELOPMENT DEPARTMENT USE ONLY: **RECEIVED**  
 CASE # 24-11 DATE RECEIVED: **JUN 11 2024**  
 FEE RECEIPT # 3237 RECEIVED BY: *JW*  
 WEST CHESTER TOWNSHIP  
 COMMUNITY DEVELOPMENT DEPARTMENT

**NOTE: THIS APPLICATION MUST BE TYPEWRITTEN OR PRINTED CLEARLY - USE ADDITIONAL SHEETS IF NECESSARY**

NAME OF APPLICANT VICKI Stacey  
 ADDRESS 520w Crossbridge Drive  
 CITY/STATE/ZIP West Chester, OH 45069  
 PHONE NO. 513-330-2773 FAX NO. \_\_\_\_\_  
 EMAIL ADDRESS: staceyvicki@yahoo.com  
 LOCATION OF PROPERTY (if applicable): SECTION 5 TOWN 2 RANGE 2  
 PROPERTY ADDRESS 520w Crossbridge Dr., West Chester, OH 45069

FOR EACH PARCEL WITHIN THE SUBJECT PROPERTY PLEASE PROVIDE:

PROPERTY OWNER NAME	PROPERTY OWNER ADDRESS	SUBJECT PARCEL(S) NUMBER
VICKI Stacey	520w Crossbridge Dr. West Chester, OH 45069	M5020197000012

REQUEST VARIANCE FROM ARTICLE 11 SUBSECTION 11 or 12

INTEREST IN THE PROPERTY: OWNER  AGENT \_\_\_\_\_ LESSEE \_\_\_\_\_ OPTIONEE \_\_\_\_\_

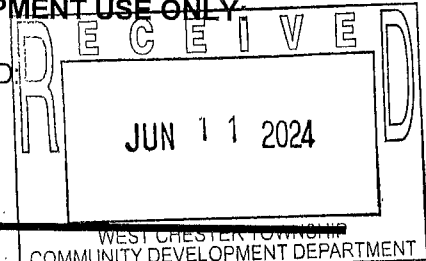
APPLICANT \_\_\_\_\_  
 Signature Address Phone Number  
520w Crossbridge Dr., West Chester, OH 45069  
513-330-277

DESCRIPTION OF REQUEST AND REASONS FOR  
A ZONING VARIANCE  
WEST CHESTER TOWNSHIP COMMUNITY DEVELOPMENT DEPARTMENT  
9577 Beckett Road Suite 100, West Chester, Ohio 45069  
Telephone: (513) 777-4214

FOR WEST CHESTER TOWNSHIP COMMUNITY DEVELOPMENT USE ONLY

CASE# 24-11

DATE RECEIVED:



NOTE: THIS APPLICATION MUST BE TYPEWRITTEN OR PRINTED CLEARLY

THE APPLICANT SHOULD PREPARE DEFINITIVE STATEMENTS REGARDING THE FOLLOWING: (USE ADDITIONAL SHEETS IF NECESSARY)

1) Please describe the requested variance.

variance requested for patio enhancement on property located at 5204 crossbridge drive, west chester, OH 45069

2) Can the property yield a reasonable return without a variance? If no, please explain.

No, given the substantial expenses already incurred.

3) Can there be any beneficial use of the property without a variance? If no, please explain.

Based upon reasonable belief, no. without the variance, all beneficial use will be stripped away.

4) Please explain whether you believe the variance requested is or is not substantial and why.

The variance is not substantial, as the request involves only a few inches.

DESCRIPTION OF REQUEST AND REASONS FOR  
A ZONING VARIANCE  
(CONTINUED)

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- 5) Would granting this variance substantially alter the essential character of the neighborhood? If no, please explain.

NO, it would not.

- 6) Would granting this variance be detrimental to surrounding property? If no, please explain.

NO, it would not.

- 7) Would granting this variance adversely affect the delivery of governmental services? Please explain.

NO, it would not.

- 8) Did the property owner purchase the property with knowledge of the zoning restriction? If no, was the property owner aware that zoning existed in West Chester? If no, please explain.

Based upon reasonable belief, no.  
Homeowner placed reliance on contractor for such knowledge.

- 9) Could other methods besides a variance allow the property to be used as desired? Please explain.

NO other methods could be used.

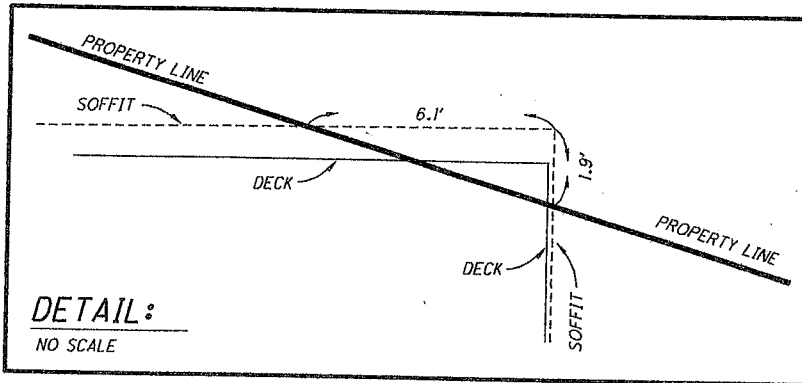


PLAT OF SURVEY  
FOR  
VICKI L. STACEY

LOT 76 - BECKETT RIDGE SECTION 4  
PLAT ENVELOPE 735 - A, B, & C



BASIS OF BEARINGS:  
SURVEY PLAT OF BECKETT RIDGE SECTION 4 AS  
RECORDED IN PLAT ENVELOPE 735 - PAGES A, B, & C  
BUTLER COUNTY, OHIO RECORDER'S OFFICE.



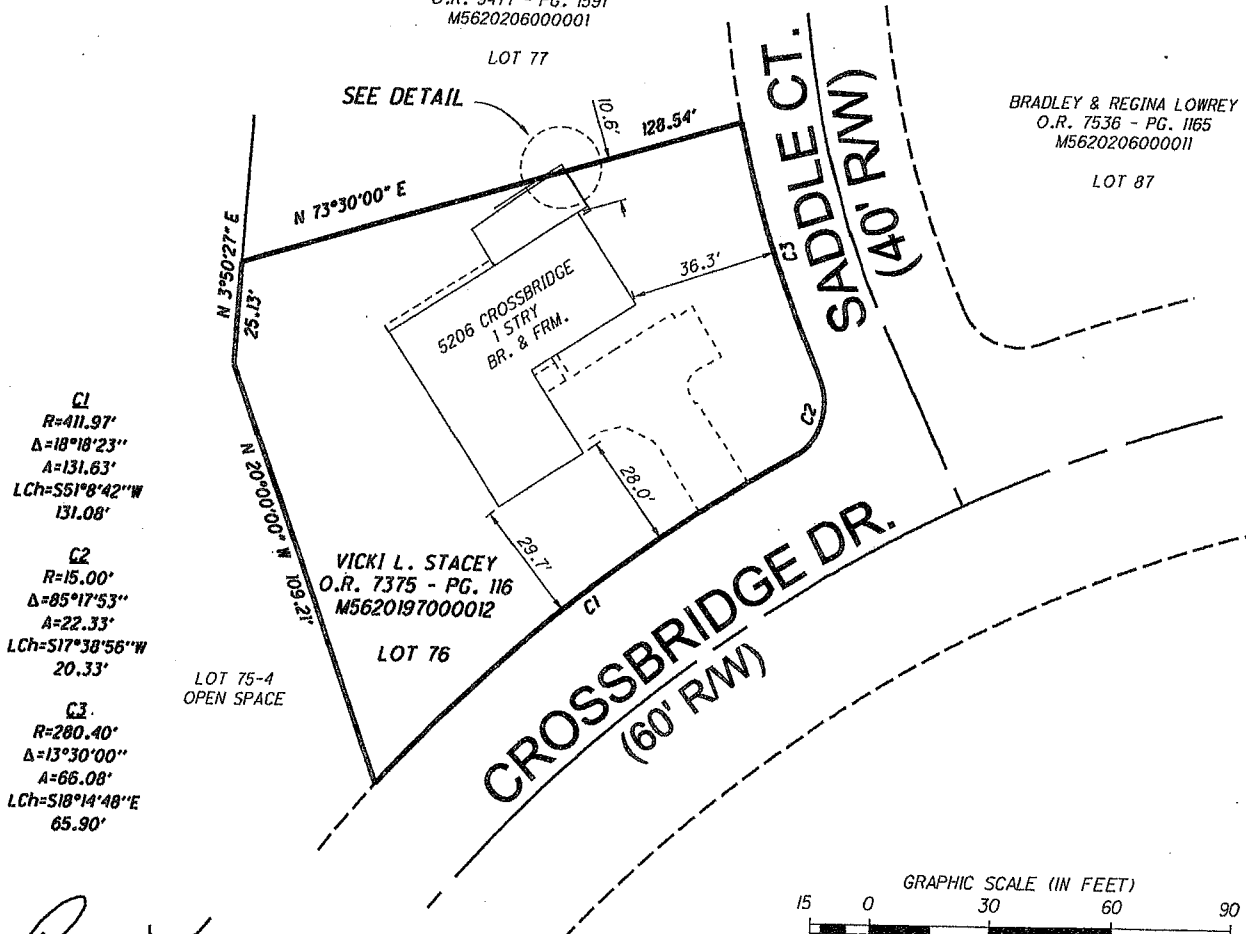
BAHAA & NOURA SNOUBAR  
O.R. 9477 - PG. 1591  
M5620206000001

LOT 77

SEE DETAIL

BRADLEY & REGINA LOWREY  
O.R. 7536 - PG. 1165  
M5620206000011

LOT 87

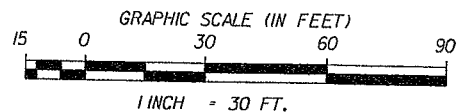


C1  
R=411.97'  
Δ=10°18'23"  
A=131.63'  
LCh=S51°8'42"W  
131.08'

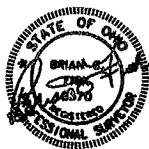
C2  
R=15.00'  
Δ=85°17'53"  
A=22.33'  
LCh=S17°38'56"W  
20.33'

C3  
R=200.40'  
Δ=13°30'00"  
A=66.08'  
LCh=S18°14'48"E  
65.90'

LOT 75-4  
OPEN SPACE



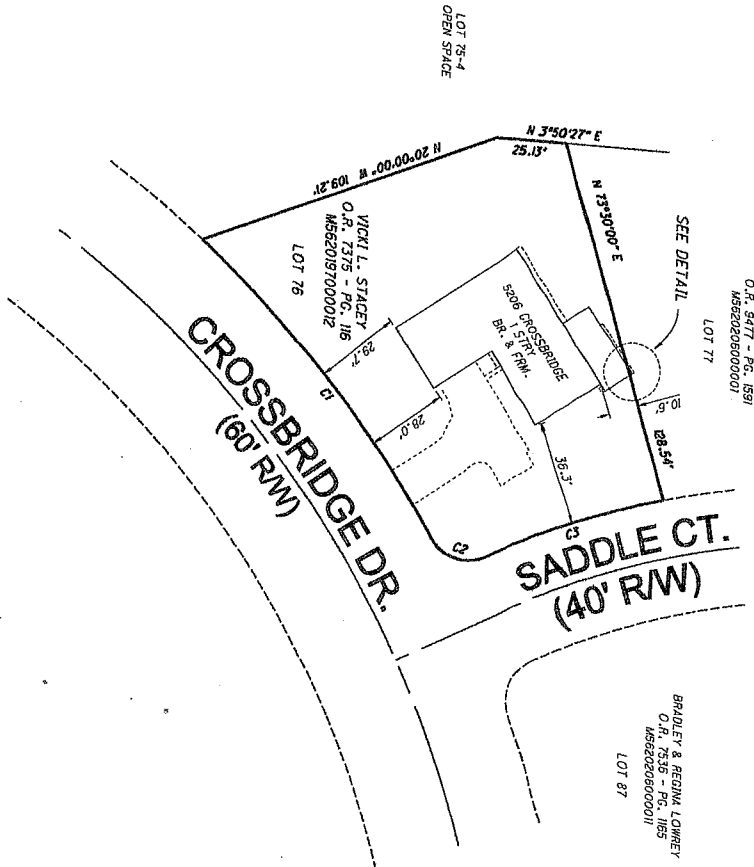
*Brian C. Fick*  
BRIAN C. FICK  
OHIO REGISTERED SURVEYOR No. 8370



I HEREBY CERTIFY THAT THIS PLAT IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND BY BRIAN C. FICK IN MAY OF 2024. TO THE BEST OF MY KNOWLEDGE THIS PLAT IS A TRUE AND ACCURATE REPRESENTATION OF THE CONDITIONS AT THAT TIME. ALL MONUMENTATION HAS BEEN FOUND OR SET AS SHOWN.

**Brian C. Fick**  
Professional Land Surveyor  
Residential & Commercial Surveying  
Phone (513) 884-0840

BASIS OF BEARINGS:  
 SURVEY PLAT OF BECKETT RIDGE SECTION 4 AS  
 RECORDED IN PLAT ENVELOPE 735 - PAGES A, B, & C  
 BUTLER COUNTY, OHIO RECORDER'S OFFICE.



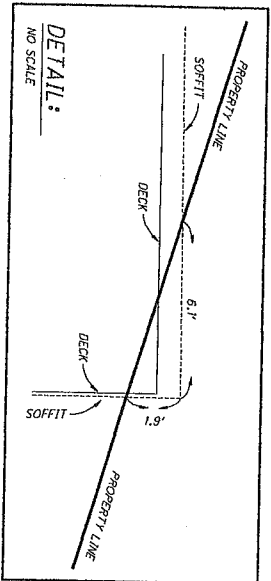
- NOTES**
1. IN GENERAL, OCCUPATION FITS THE BOUNDARY.
  2. IRON PINS SET ARE 3/4" DIA X 30" LONG W/CAPS.
  3. ALL MONUMENTS ARE IN GOOD CONDITION UNLESS STATED OTHERWISE.
  4. THIS SURVEY WAS USED AS SHOWN.
  5. THIS SURVEY WAS MADE FOR AND AT THE INSTIGANCE OF: VICKI L. STACEY
  6. OWNER CLAIMS TITLE BY O. R. 7335 - PG. 1B5, BUTLER COUNTY RECORDER'S OFFICE.

- C1
- P-111.57'
- A-8°18'23"
- A-131.63'
- LD-551°49'42"W
- 121.08'
- C2
- P-115.00'
- A-88°17'53"
- A-122.13'
- LD-517°39'56"W
- 20.33'
- C3
- P-280.40'
- A-19°30'00"
- A-186.08'
- LD-58°14'48"E
- 65.50'

*Brian C. Fick*  
 BRIAN C. FICK  
 OHIO REGISTERED SURVEYOR NO. 8170

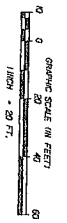
I HEREBY CERTIFY THAT THIS PLAT IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND BY BRIAN C. FICK IN MAY OF 2024, TO THE BEST OF MY KNOWLEDGE THIS PLAT IS A TRUE AND ACCURATE REPRESENTATION OF THE CONDITIONS AT THAT TIME. ALL MONUMENTATION HAS BEEN FOUND OR SET AS SHOWN.

THE PROFESSIONAL SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH OF RECORDS FOR ENCUMBRANCES, RESTRICTIVE COVENANTS, OR OTHER TITLE MATTERS. THE SURVEYOR'S RESPONSIBILITY IS LIMITED TO THE CURRENT TITLE SEARCH MAY DISCLOSE. NO ABSTRACT OF TITLE NOR TITLE SURVEY, OR RESULTS OF A TITLE SEARCH WERE FURNISHED TO THE SURVEYOR.



**LEGEND**

- - 3/4" IRON PIN FOUND
- - 1/2" CARBED IRON PIN SET
- - SPIKE FOUND
- ⊙ - CONCRETE MONUMENT FOUND
- ▲ - NAIL FOUND



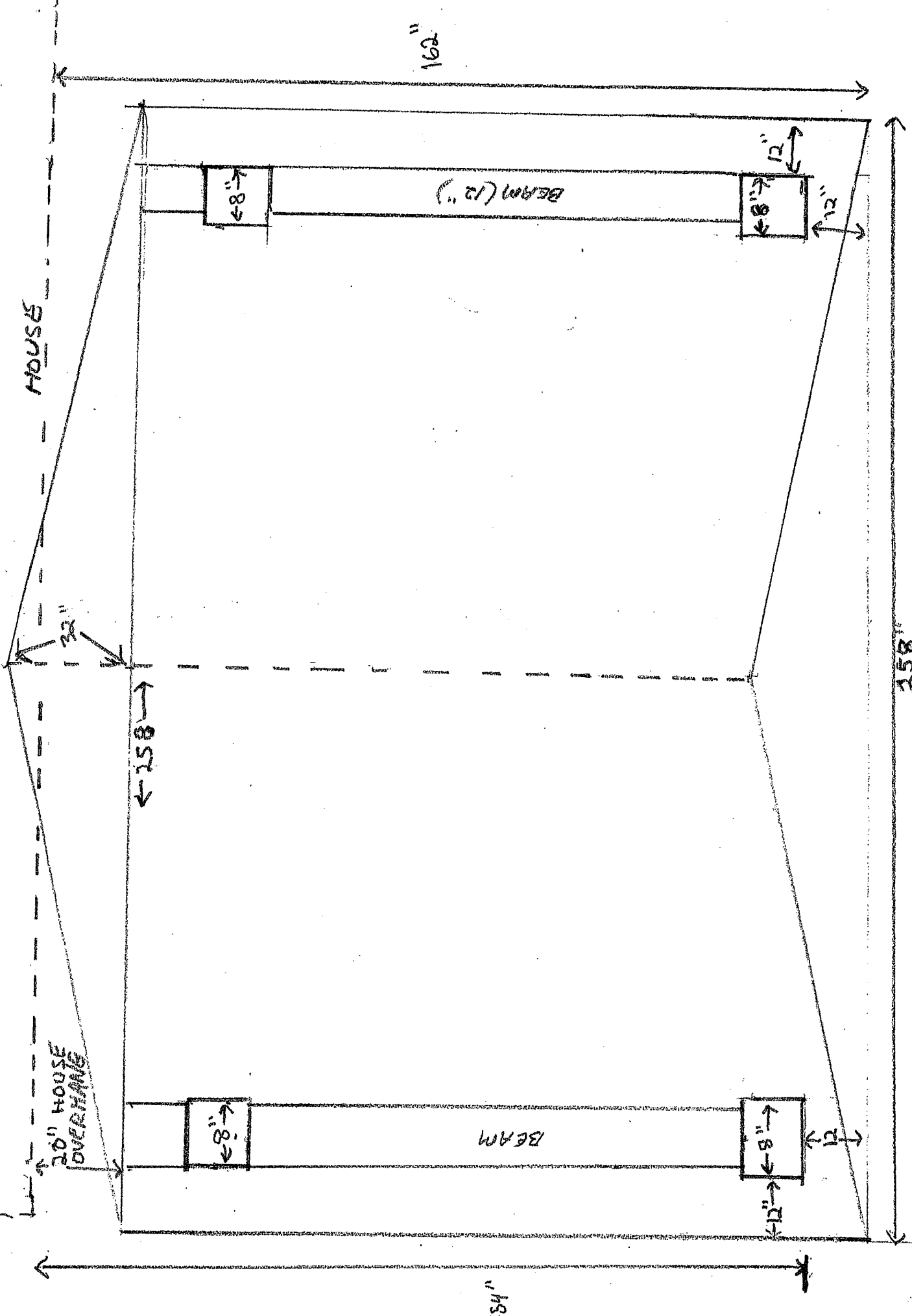
PLAT OF SURVEY  
 FOR  
 VICKI L. STACEY

SITUATED IN:  
 SECTION 5 - TOWNSHIP 2 - RANGE 2  
 M. R. S. - WEST CHESTER TOWNSHIP  
 BUTLER COUNTY - STATE OF OHIO

LOT 76 - BECKETT RIDGE SECTION 4  
 PLAT ENVELOPE 735 - A, B, & C

ALL OF BUTLER COUNTY AUDITOR'S  
 PARCEL NO. M5620-197-000-012

Owner's Name	Brian C. Fick	
Professional Title	Professional Land Surveyor	
Residential & Commercial Surveying	Phone (613) 884-0940	
Date	MAY 2024	Scale
Sheet No.	1	Project No.
1	1	ES-2024
		B.C.F.



HOUSE

162"

BEAM (12")

158"

TOP VIEW

BEAM

154"

20" HOUSE OVERHANG

32"

158"

8"

8"

12"

12"

8"

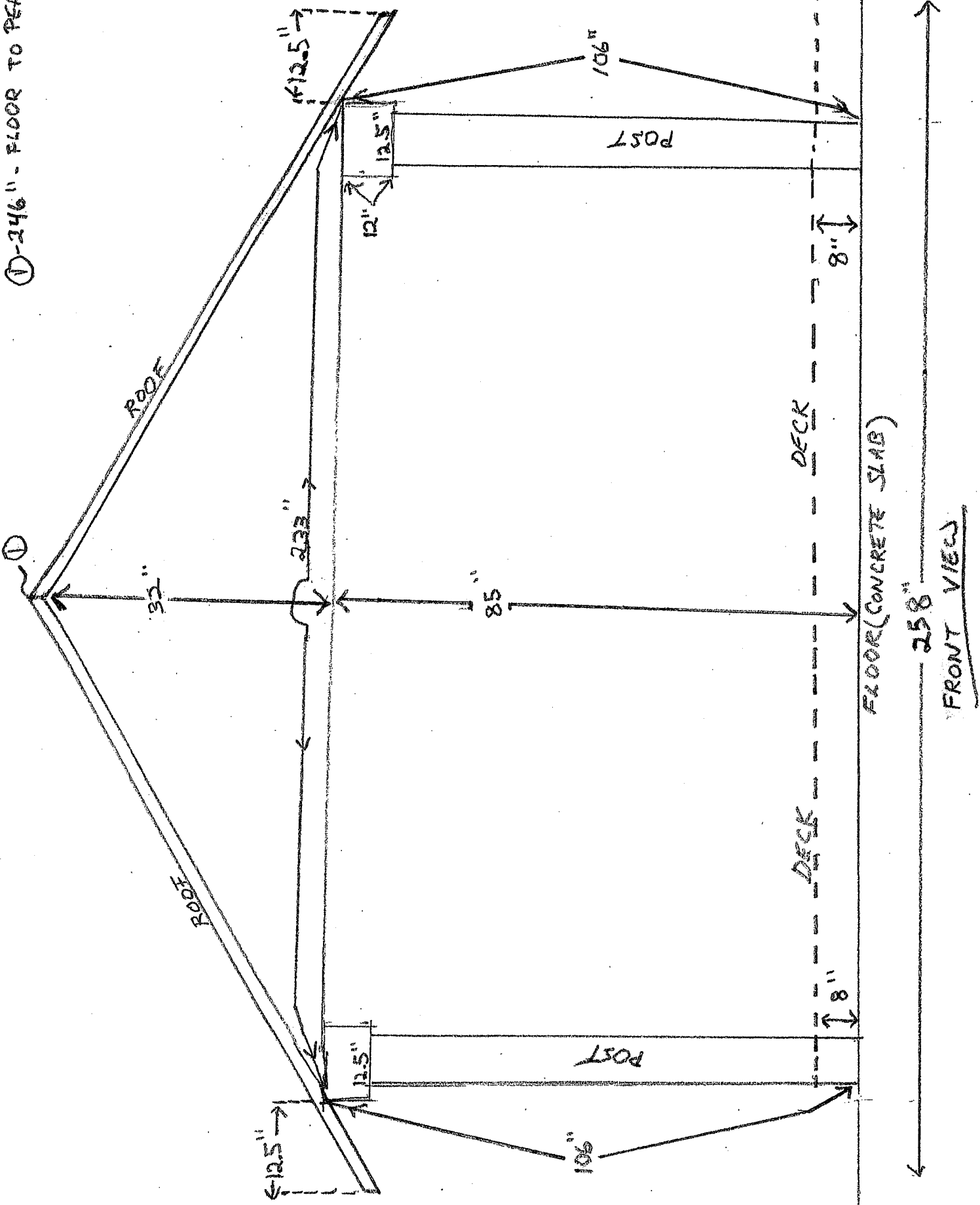
8"

12"

12"



①-246" - FLOOR TO PEAK



SIDE VIEW

