

765

CONSTRUCTION PLANS

PROVIDENCE MANOR SUBDIVISION SECTION 7

SECTION 6, T2 R2 UNION TOWNSHIP
BUTLER COUNTY, OHIO

JULY 1991

INDEX TO DRAWINGS

GENERAL NOTES

- BUTLER COUNTY WATER AND SEWER DEPARTMENT DOES NOT ACCEPT ANY RESPONSIBILITY FOR THE RELOCATION, REPAIR OR REPLACEMENT OF ANY OTHER UTILITY INSTALLED WITHIN FIVE FEET OF THE CENTERLINE OF ANY SANITARY MAIN SEWER OR WATER MAIN.
- SANITARY SEWER MATERIALS AND INSTALLATION TO BE AS PER BUTLER COUNTY SPECIFICATIONS. THE FOLLOWING ARE ACCEPTABLE PIPE MATERIALS:
REINFORCED CONCRETE PIPE.....ASTM C-76 WALL B OR C; JOINTS - C 443
VITRIFIED CLAY PIPE.....ASTM C-700; JOINTS C- 425
ARMCO TRUSS PIPE ABS.....ASTM D 2680; JOINTS D-2680 (DEPTH LIMIT 25')
PVC PLASTIC SEWER PIPE.....ASTM D 3034; JOINTS - D 3212
- WATER MAIN MATERIALS, VALVES, FIRE HYDRANTS, FITTINGS, AND APPURTENANCES AND INSTALLATION TO BE AS PER BUTLER COUNTY SPECIFICATIONS, USING CLASS 53 DUCTILE IRON AS PER ASTM A-339-55 AND AWWA C-151 WITH 48" MINIMUM COVER.
- PROVIDE EXCLUSIVE EASEMENTS FOR SANITARY SEWERS AND WATER MAINS.
- MAINTAIN A MINIMUM OF 10 FEET HORIZONTAL AND 18 INCHES VERTICAL OF SEPARATION BETWEEN WATER MAIN AND SANITARY SEWER MAIN AND/OR STORM SEWER.
- STORM SEWER PIPE TO BE 16 GAUGE ALUMINIZED CORRUGATED METAL PIPE, HELICAL DESIGN, UNPAVED OR ASTM C-14, EXTRA STRENGTH CONCRETE UNLESS OTHERWISE NOTED OF THE PLANS. BEDDING TO BE FIRST CLASS, ALL SEWERS TO BE INSTALLED AS PER BUTLER COUNTY SPECIFICATIONS.
- ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
- ALL CATCH BASINS WITH A DEPTH GREATER THAN 4.5 FEET SHALL BE PROVIDED WITH STEPS. STEPS SHALL MEET THE REQUIREMENTS OF 604 AND SHALL CONFORM TO THE DETAILS AS SHOWN ON BUTLER COUNTY STANDARD DRAWING MH-1A.
- SUMP OUTLET LINES SHALL BE PVC, SDR-35 OR A-2000 PIPE.
- ALL STANDARD SEWER LATERALS SHALL NOT EXCEED A DEPTH BELOW FINISHED GRADE OF 12 FEET OR 4 FEET BELOW A PROPOSED BASEMENT FLOOR ELEVATION AT THE END OF THE LATERAL, UNLESS SPECIFICALLY AUTHORIZED BY THE COUNTY.

SEDIMENTATION CONTROL NOTES

THE PROJECT HAS BEEN DESIGNED TO CONTROL EROSION AND PREVENT DAMAGE TO OTHER PROPERTY. ALL STRIPPING, EARTH WORK, AND RE GRADING SHALL BE PERFORMED TO MINIMIZE EROSION. NATURAL VEGETATION SHALL BE RETAINED WHEREVER POSSIBLE. THE PROPOSED PLAN WILL ALLOW ALMOST ALL OF THE ERODED MATERIALS TO REMAIN ON THE SITE.

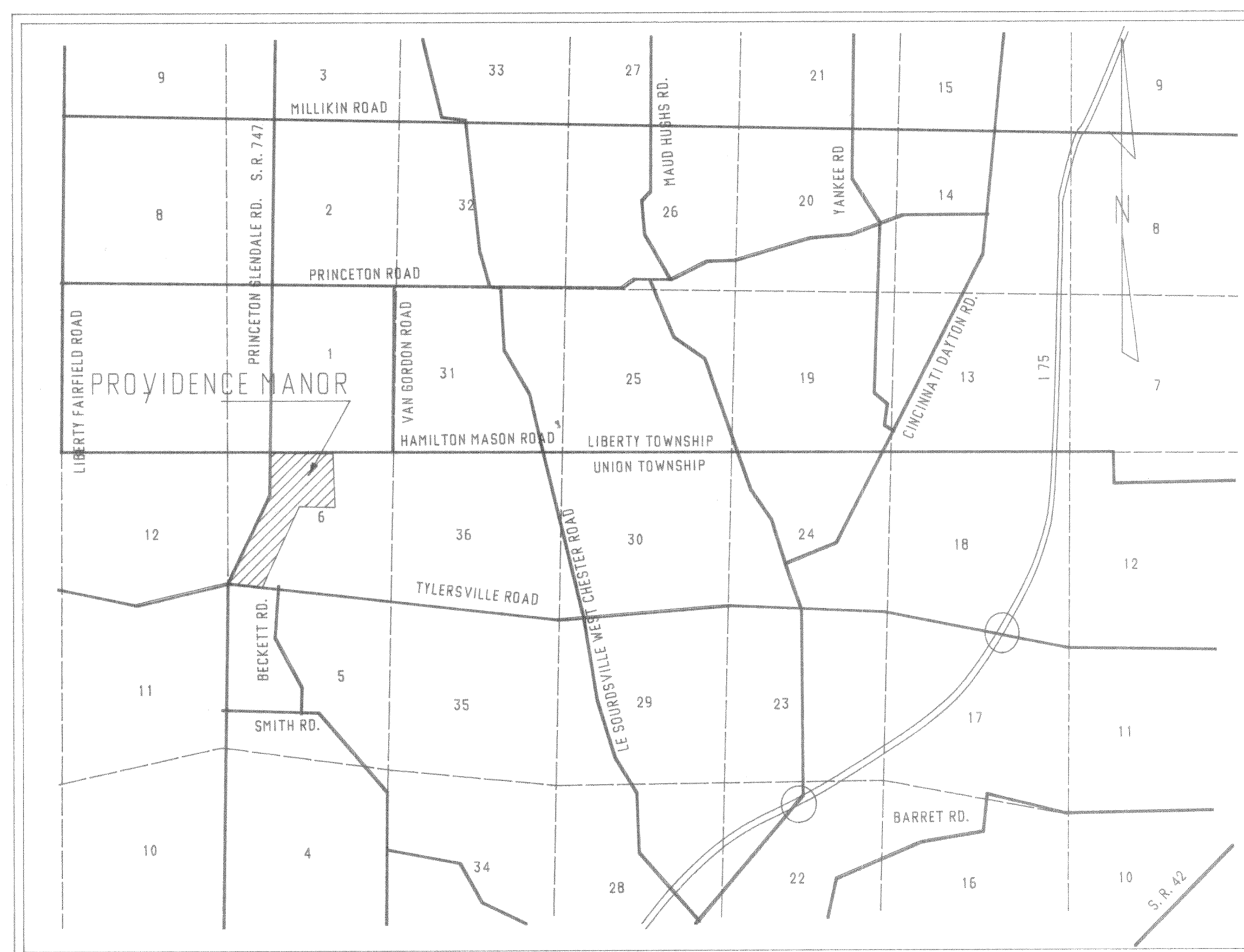
ALL AREAS DISTURBED BY THE CONSTRUCTION OF THE ROADWAYS, DITCHES, AND SEDIMENTATION BASINS SHALL BE SEEDED. PAYMENT WILL BE BY THE NUMBER OF SQUARE YARDS DISTURBED AS PER THE GRADING PLAN.

STRAW BALES ARE TO BE UTILIZED TO CREATE TEMPORARY DAMS TO CATCH THE SILT. THESE ARE TO BE INSTALLED AT POINTS WHERE FLOW IS CONCENTRATED. SURFACE WATER IS TO BE DIRECTED INTO TEMPORARY SILT BASINS BY MEANS OF TEMPORARY SWALES AND DITCHES.

AS THE INSTALLATION OF THE STORM SEWERS PROGRESSES, STRAW BALES ARE TO BE PLACED AT THE INLETS AND OUTLETS OF STORM SEWERS TO CONTROL SILT. PAYMENT FOR THE ABOVE WORK SHALL BE INCLUDED IN THE ITEMS EXCAVATION EMBANKMENT.

LEGEND

- ONE INCH SURFACE COURSE OF ITEM 404 ASPHALTIC CONCRETE (85-100 OR AC-20) SEE NOTE * 4.
- ONE AND ONE HALF INCH LEVELING COURSE OF ITEM 402 ASPHALTIC CONCRETE (85-100 OR AC-20).
- SIX INCH BASE COURSE OF ITEM 301 BITUMINOUS AGGREGATE BASE
- COMPACTED SUBGRADE, ITEM 203.13.
- ROLL TYPE CURB AND GUTTER, ITEM 609 BUTLER COUNTY STANDARD C-10).
- FOUR INCH THICK CONCRETE SIDE WALK, FOUR FEET WIDE, ITEM 606. WALK TO BE 1/2" HIGHER THAN SOD (IF WALK IS REQUIRED).
- SEEDING AND MULCHING, ITEM 659.
- TACK COAT, ITEM 407 - TO BE APPLIED AT THE RATE OF 0.05 GAL. PER SQ. YARD, SEE NOTE * 4.
- TACK COAT SHALL BE APPLIED TO FRONT FACE OF CURB PRIOR TO THE INSTALLATION OF 301 BITUMINOUS AGGREGATE BASE. ALSO TO BE APPLIED TO CURB JOINT AFTER THE INSTALLATION OF 402 LEVELING COURSE.



LOCATION MAP
(NOT TO SCALE)

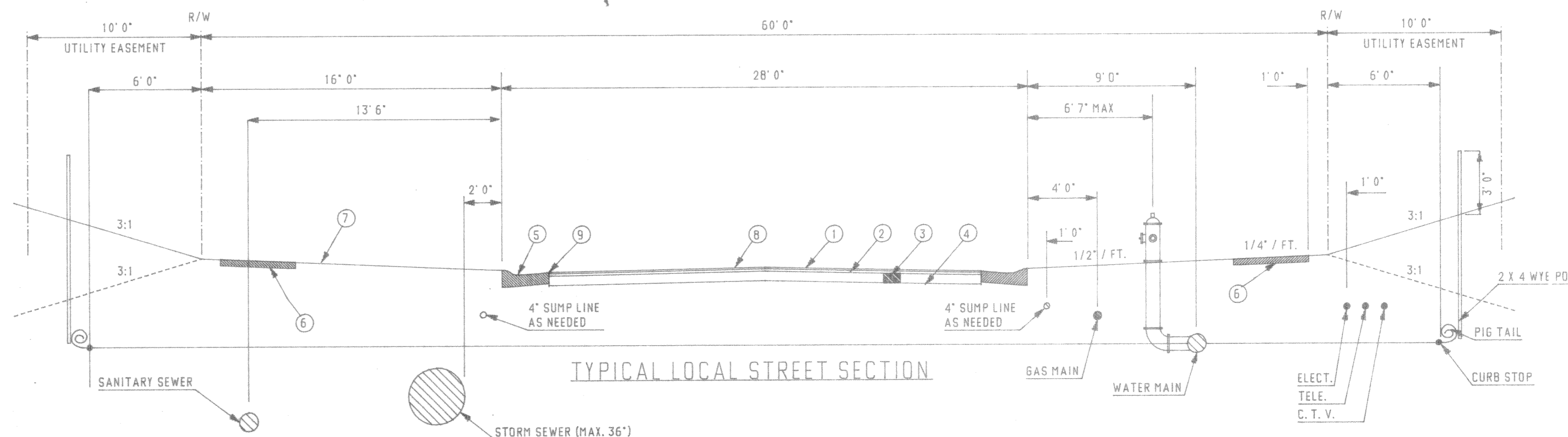
SHEET	DESCRIPTION
1	TITLE PAGE
2	PRELIMINARY PLAT
3	RECORD PLAT
4	OVERLAND PARK CT STA 0+0 TO 7+0
5	GRADING AND DRAINAGE PLAN
6	
7	
8	
9	
10	
11	
12	

JOB LOG		REVISIONS
DATE	COMMENT	

OWNER AND DEVELOPER: DAVID J. CLINTON & CO. INC
3045 SYMMES RD.
HAMILTON OHIO 45015
PH 513 860-5687

Nelson M. Clinton

DAVID J. CLINTON & CO. INC.
SURVEYORS, LAND PLANNERS, DEVELOPERS
3045 SYMMES RD
HAMILTON, OHIO 45015



TYPICAL LOCAL STREET SECTION

TITLE SHEET

1/1

7-30-91



PROVIDENCE MANOR SUBDIVISION SECTION SEVEN

BUTLER COUNTY, OHIO UNION TOWNSHIP

SCALE 1" = 100'

- NOTES:
- 1) ECTIONS A-I AREAL 115 ACRES &
 - 2) ALL LOTS SHALL BE SERVICED BY PUBLIC SEWER
 - 3) THESE SHALL BE OPEN DESIGN WITH 12" DIA. &
 - 4) OWNER AND DEVELOPER SHALL BE RESPONSIBLE FOR

PROVIDENCE MANOR SUBDIVISION

A REPLAT OF LOTS 28, 29, 30 AND PART LOT 27 OF GREEN MEADOWS ACRES SUBDIVISION AND ADJACENT ACREAGE

SECTION SEVEN
SECTION 6 T2 R2, UNION TOWNSHIP
BUTLER COUNTY, OHIO

SCALE 1" = 100' DATE JULY, 1991

Approved for health and sanitation by the Board of Health, Butler County, Ohio this _____ day of _____, A.D. 19____

Approved by the Butler County Planning Commission this _____ day of _____, A.D. 19____

by _____, Chairman
Secretary

We the County Commissioners of Butler County do hereby approve and accept the accompanying plat of PROVIDENCE MANOR SUBDIVISION SECTION 7 this _____ day of _____, A.D. 19____

Commissioners, Butler County, Ohio:

Received for transfer _____ A.D. 19____
Transferred _____ A.D. 19____

Auditor, Butler County Ohio

by _____

Filed for Record _____ Date _____ Time _____
Recorded _____ A.D. 19____

Recorder, Butler Co., Ohio

by _____ Deputy

Plat Envelope _____ Pages _____
Fee: _____

I hereby certify that the accompanying plat is the correct return of a survey made under my direction, that all concrete monuments are as shown and that all requirements of the subdivision regulations have been fully complied with to the best of my knowledge.

Registered Surveyor #6219 in Ohio

DAVID J. CLINTON & CO., INC.
3045 SYMMES RD.
HAMILTON, OHIO 45015

Know all men by these presents:

That the undersigned, being the owners of 10.465 Acres of Land and part lot 27 and entire lots 28, 29, and 30 of Green Meadows Subdivision in Section 6 Town 2, Range, Union Township, Butler County, Ohio does hereby assent to and adopt this plat of Subdivision to be known as: PROVIDENCE MANOR SUBDIVISION SECTION SEVEN.

Easements on said plat designated as "Utility Easement" are provided for the construction, maintenance and operation of poles, wires, conduits, and the necessary attachments in connection therewith, for the transmission of electricity, telephone, and other purposes; for the construction of surface and underground storm drains, sanitary sewers, pipelines for supplying gas, water, heat, and other public or quasi public utility functions, together with the necessary laterals, connections, and also the right of ingress to and egress from said easements and to trim trees thereon as may be necessary is hereby reserved for those persons engaged in such operation or maintenance.

The owners do hereby dedicate to the public forever, in accordance with the laws in such cases made and provided, the streets and roadways as shown on said plat, and declare the same to be free and unencumbered.

All streets in said subdivision shall be constructed in accordance with approved plans on file in the office of the Butler County Engineer, with street name signs erected and drainage structures constructed as per approved plans.

All streets shall be constructed within one year from the date that the plat is approved by the Butler County Commissioners, and shall be maintained and kept in repair for a period of one year from the date the constructed streets are approved and accepted by the Butler County Engineer.

All lots excepting lot 254 shown on the accompanying plat shall be subject to the same protective covenants and restrictive provisions as set forth in Deed Book _____ Page _____ of the Butler County, Ohio Records, which covenants are hereby made a part of this deed of subdivisions.

In witness whereof we have set our hand this _____ day of _____, A.D., 1991.

Owners of lots 242 to 253 inclusive:

Witnesses: _____
DAVID J. CLINTON & CO. INC.
3045 SYMMES ROAD
HAMILTON, OHIO 45015

owners of lot 254:

Witnesses: as to all: _____
James P. Miller

State of Ohio S. S. _____
County of Butler Lorri R. Miller

The foregoing instrument was acknowledged before me this _____ day of _____, A.D. 1991 by David J. Clinton, President of David J. Clinton & Co. Inc., an Ohio corporation, on behalf of the corporation.

My Commission Expires _____ Notary Public, State of Ohio

State of Ohio S. S. _____
County of Butler

The foregoing instrument was acknowledged before me this _____ day of _____, By James D. Miller and Lorri R. Miller.

My Commission Expires _____ Notary Public, State of Ohio

Private driveways, parking lots, and other paved areas or structures should not be constructed over private water or sewer service lines within the public road right of way or within easement areas for the public utilities. Should this occur, the property owner will be held responsible for the protection and repair of and for providing access to any curb stops, meter pits, manholes, cleanouts, etc. Installed in conjunction with these private service lines and for any damage or restoration of the paved surfaces or structures that may result from the future operation, maintenance, repair or replacement of said service lines and appurtenances.

BUTLER COUNTY WATER AND SEWER DEPARTMENT DOES NOT ACCEPT ANY RESPONSIBILITY FOR THE RELOCATION, REPAIR OR REPLACEMENT OF ANY OTHER UTILITY INSTALLED WITHIN FIVE FEET OF THE CENTERLINE OF ANY SANITARY MAIN SEWER OR WATER MAIN.

This plat as approved is subject to present and future regulations of the Butler County Board of Health.

All homes shall be connected to public sewer and water.

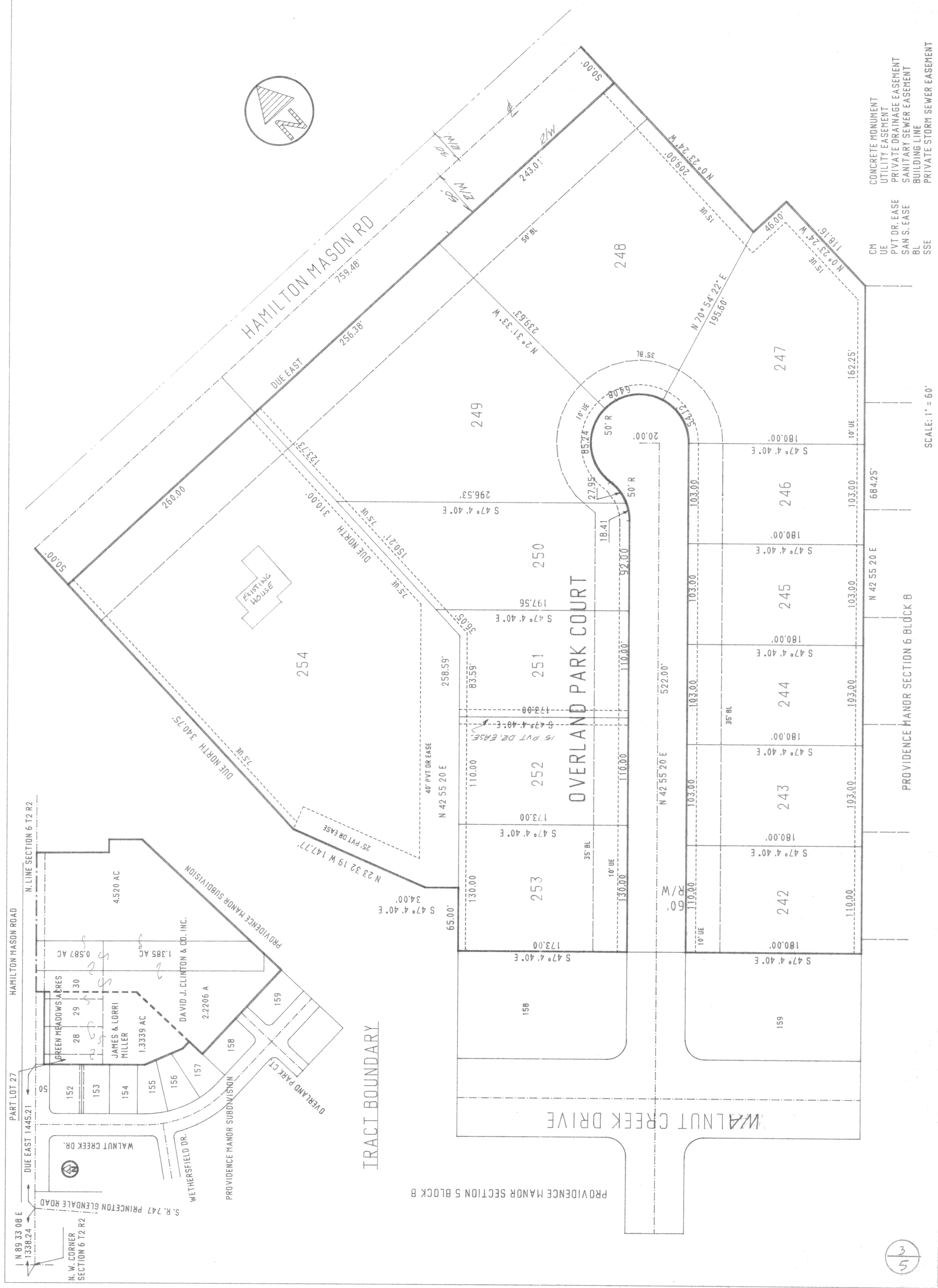
All lots transferred shall have a minimum width and area substantially the same as those shown on the plat, and only one principal building will be permitted on any such lot.

Any future splitting of any lot that results in an additional building site being created shall be by replat only.

Butler County does not accept any private drainage easements or storm sewer easements shown on the accompanying plat, and Butler County is not obligated to maintain or repair any channels or installations in said easements. The easement area of each lot shall be maintained continuously by the owner of the lot. Maintenance within private drainage easements shall be the responsibility of the PROVIDENCE MANOR Home Owners' Association as provided for in the declaration and in accordance with the standards and specifications of the Butler County Engineer. Within the easement area, no structure, planting or other material shall be placed or permitted to remain in, which may obstruct, retard or change the direction of the flow of water.

All buildings to be served by the public sewer system shall be constructed so as to provide a minimum of four feet (4') of vertical separation between the public sanitary sewer, at the point of connection, and the lowest building level served by a gravity sewer connection. In addition, said building level shall be at least one foot (1') above the lowest point of free-overflow (non-sealed manhole cover) upstream of any treatment facility or wastewater pumping facility or water pumping facility that receives the discharge from said building. Said minimum service levels shall be recorded on the "As-Built" plans for the development which will be kept on file in the office of the Butler County Sanitary Engineer.

Maintenance of all improvements within private drainage easements shall be the responsibility of the PROVIDENCE MANOR Home Owners' Association as provided for in the declaration and in accordance with the standards and specifications of the Butler County Engineer.

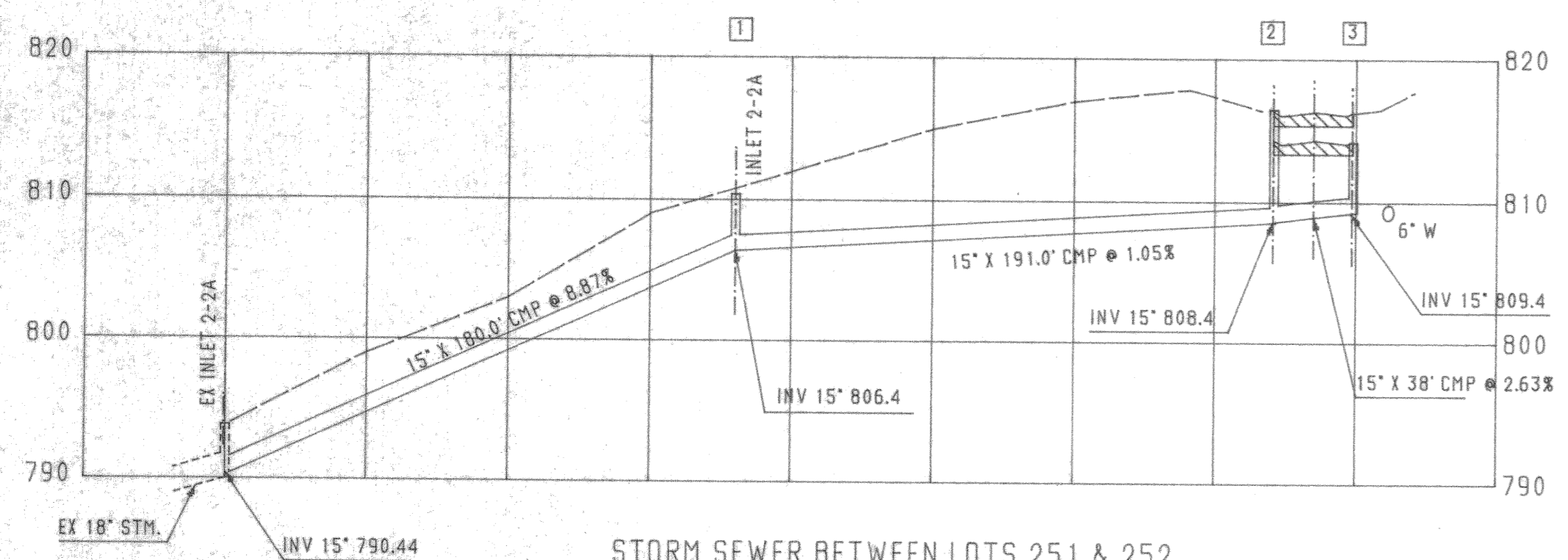


SCALE: 1" = 60'

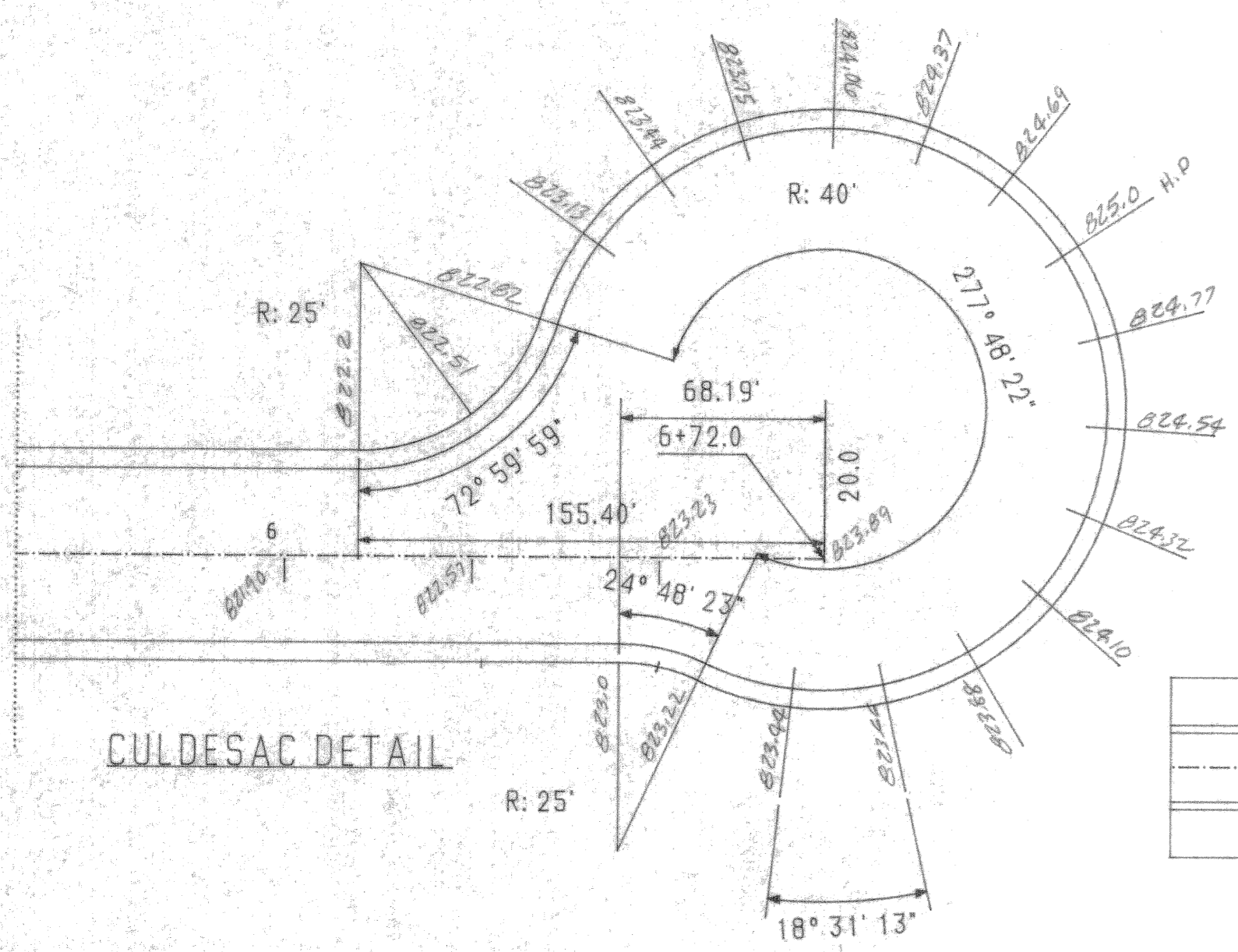
CONCRETE MONUMENT
UTILITY EASEMENT
PRIVATE DRAINAGE EASEMENT
SANITARY SEWER EASEMENT
BUILDING LINE
PRIVATE STORM SEWER EASEMENT

PROVIDENCE MANOR SECTION 6 BLOCK B

3/5



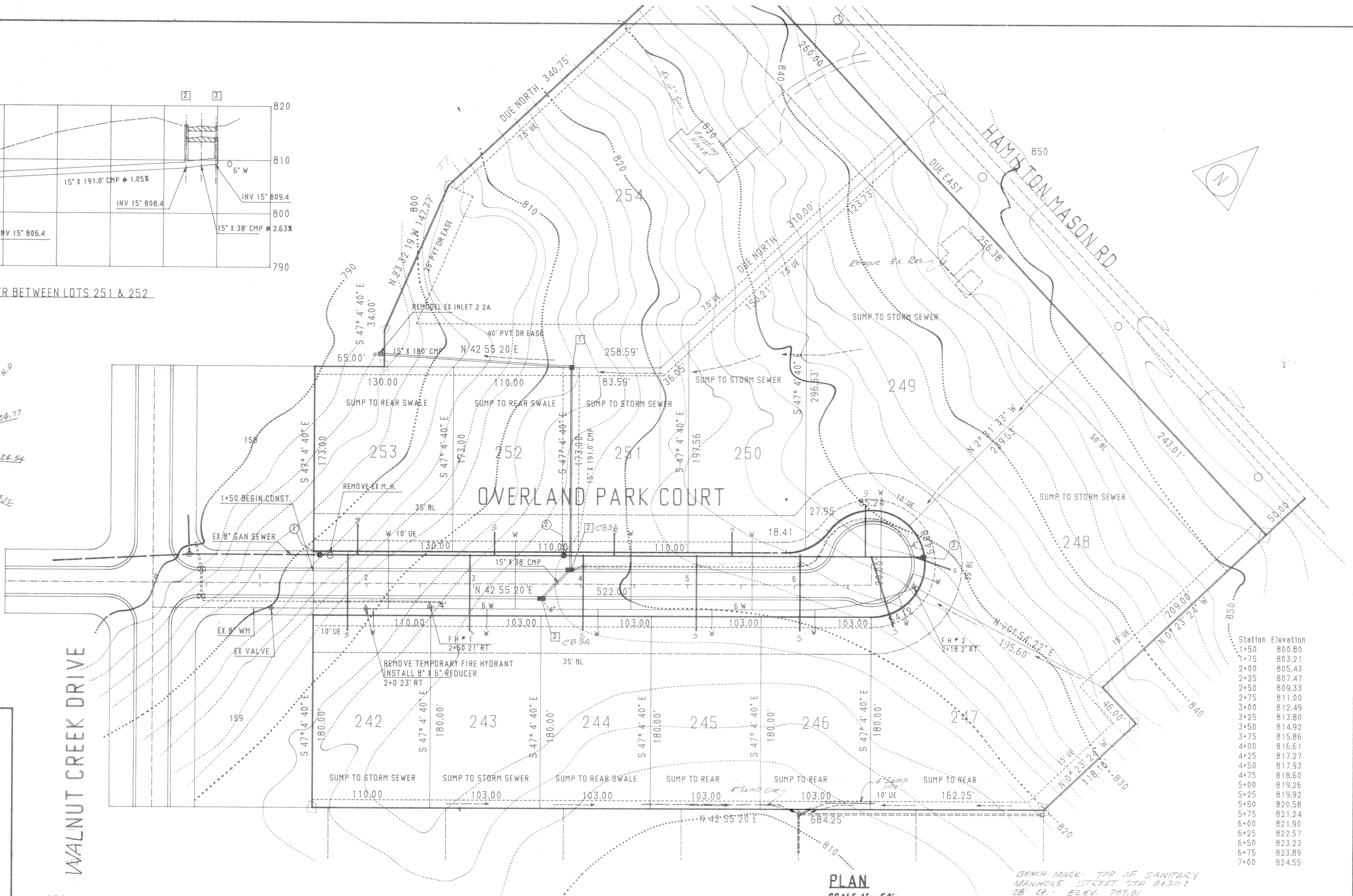
STORM SEWER BETWEEN LOTS 251 & 252



CULDESAC DETAIL

WATER AND SEWER LATERAL DATA

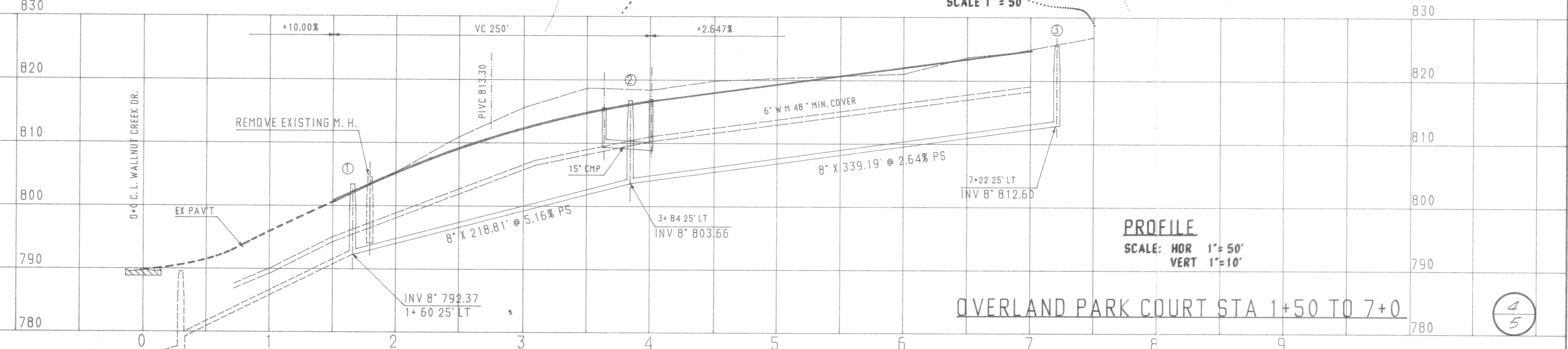
SANITARY SEWER DATA				WATER SYSTEM DATA			
LOT NO.	MIN BAST FL. ELEV	ST STA. LENGTH	AS BUILT	ST STA. LENGTH	AS BUILT		
242	798	1+82	70'	2+05	20'		
243	803	2+96	70'	3+12	20'		
244	809	4+05	70'	4+16	20'		
245	812	5+08	70'	5+23	20'		
246	814	6+05	70'	6+20	20'		
247	815	6+94	70'	7+08	20'		
248	817	7+45	35'	7+30	45'		
249	815	6+65	55'	6+80	95'		
250	812	5+40	20'	5+60	65'		
251	809	4+30	20'	4+47	65'		
252	803	3+20	20'	3+38	65'		
253	798	1+93	20'	2+20	65'		



Station	Elevation
1+50	800.80
1+75	803.21
2+00	805.43
2+25	807.47
2+50	809.33
2+75	811.00
3+00	812.49
3+25	813.80
3+50	814.92
3+75	815.86
4+00	816.61
4+25	817.27
4+50	817.93
4+75	818.60
5+00	819.26
5+25	819.92
5+50	820.58
5+75	821.24
6+00	821.90
6+25	822.57
6+50	823.23
6+75	823.89
7+00	824.55

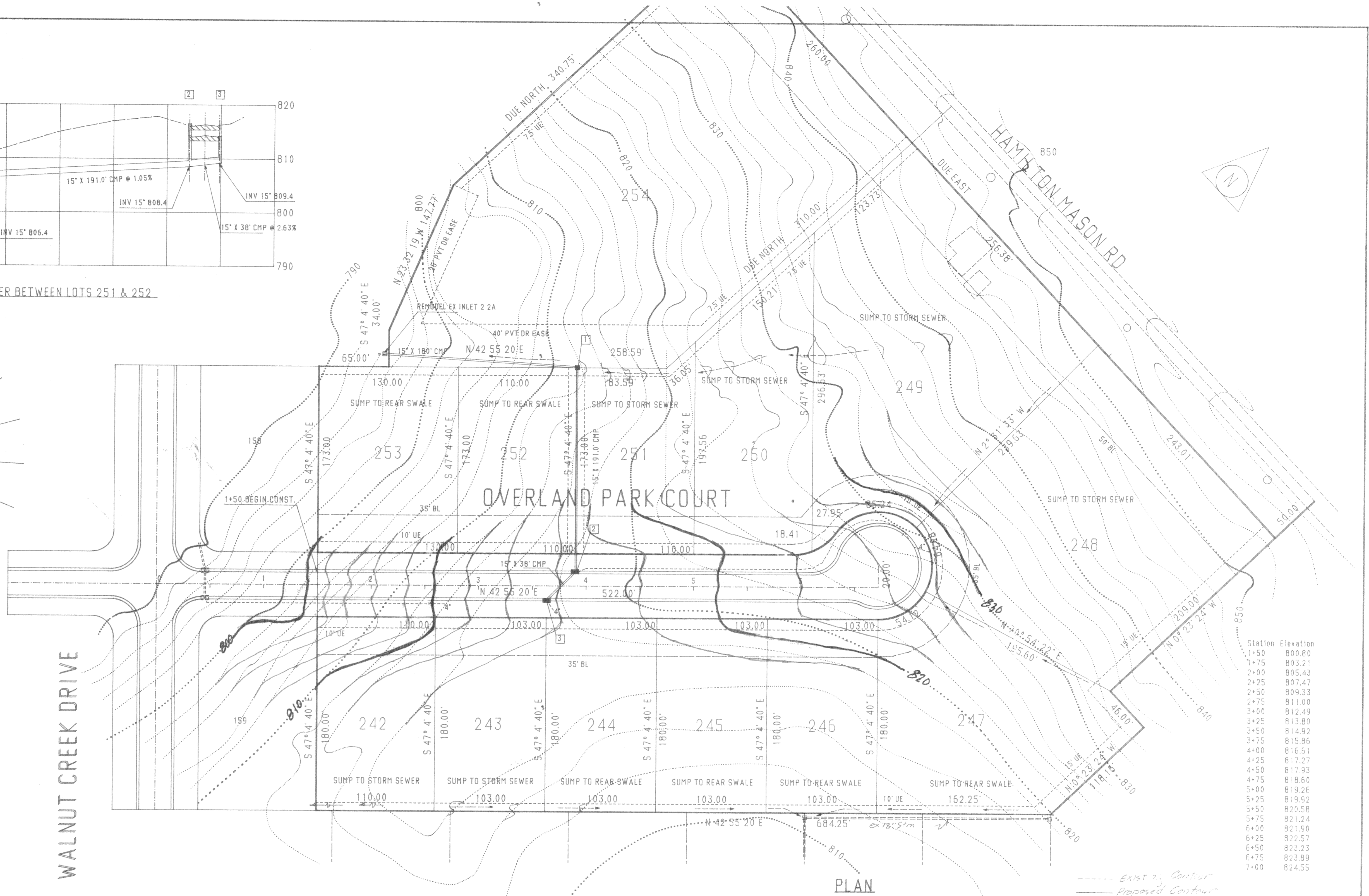
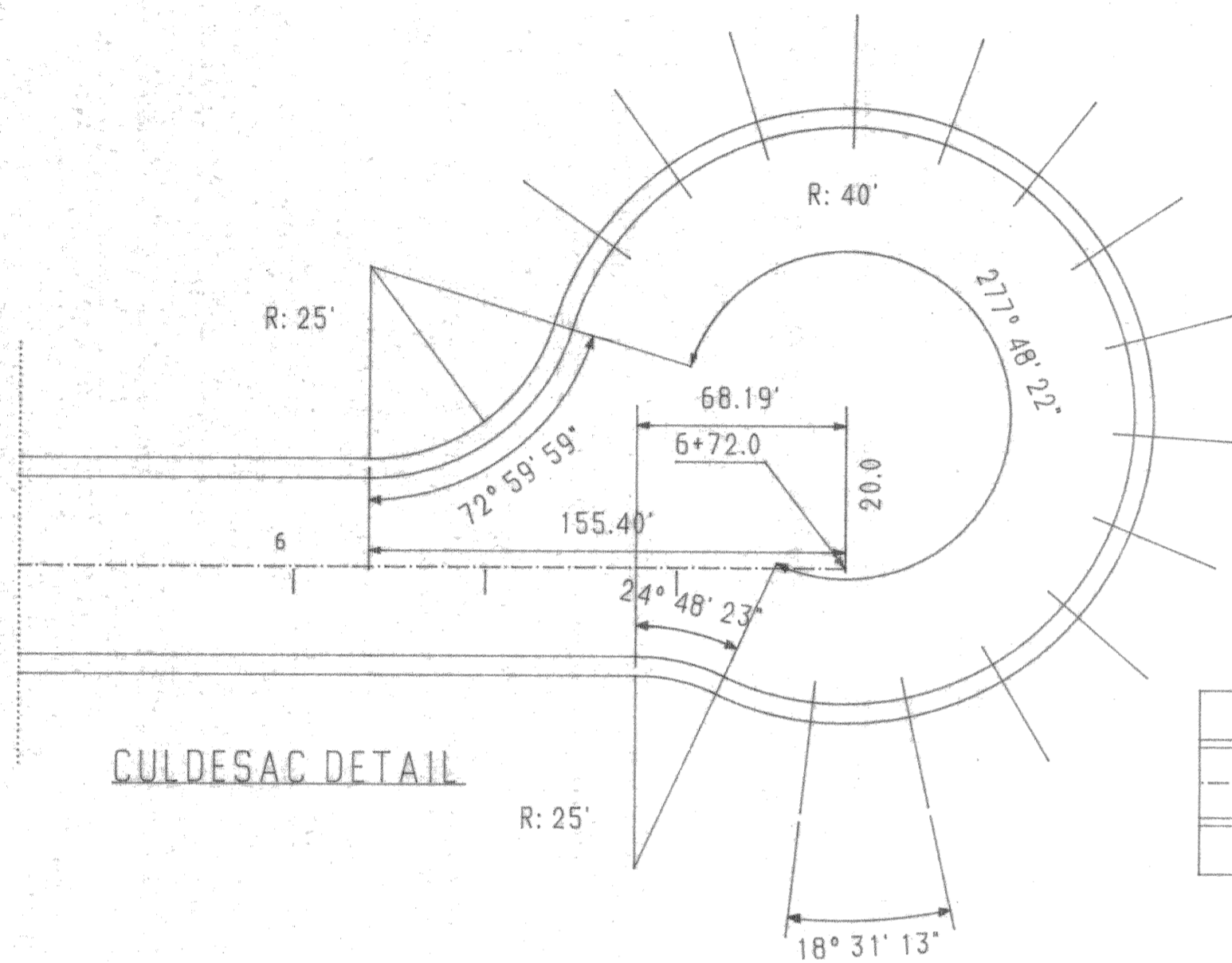
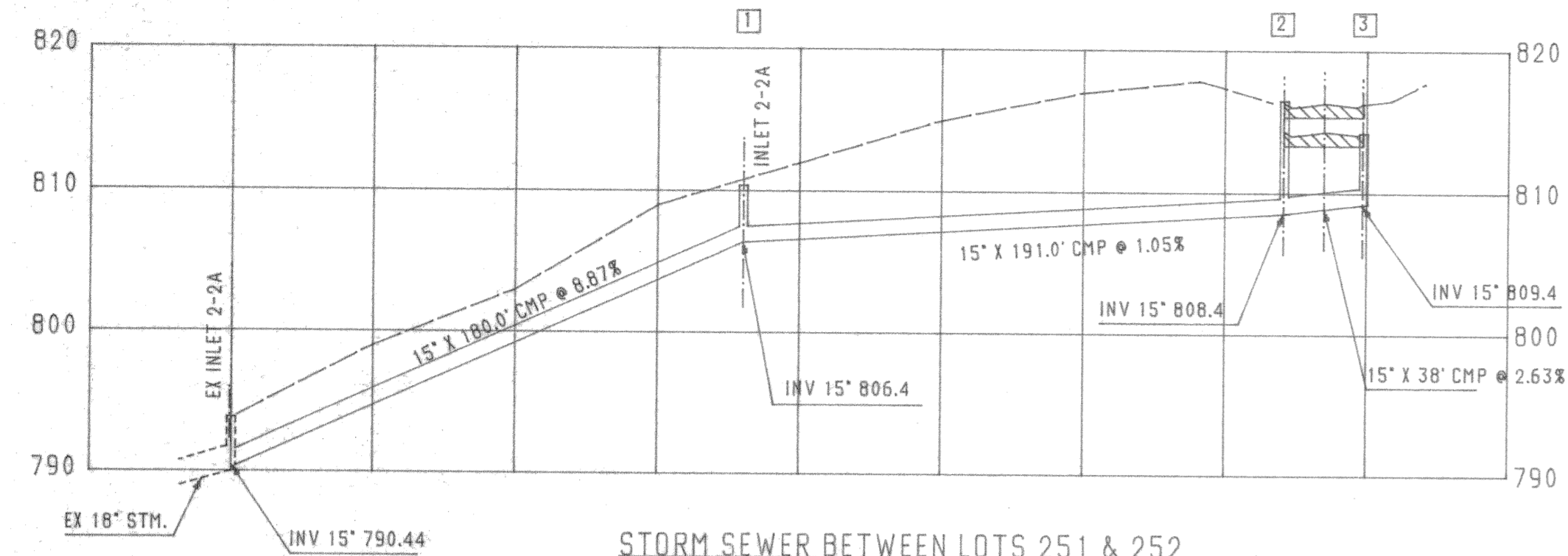
PLAN SCALE 1" = 50'

BENCH MARK: TOP OF SANITARY MANHOLE STREET STA 0+30.2 28' H. Elev. 789.81



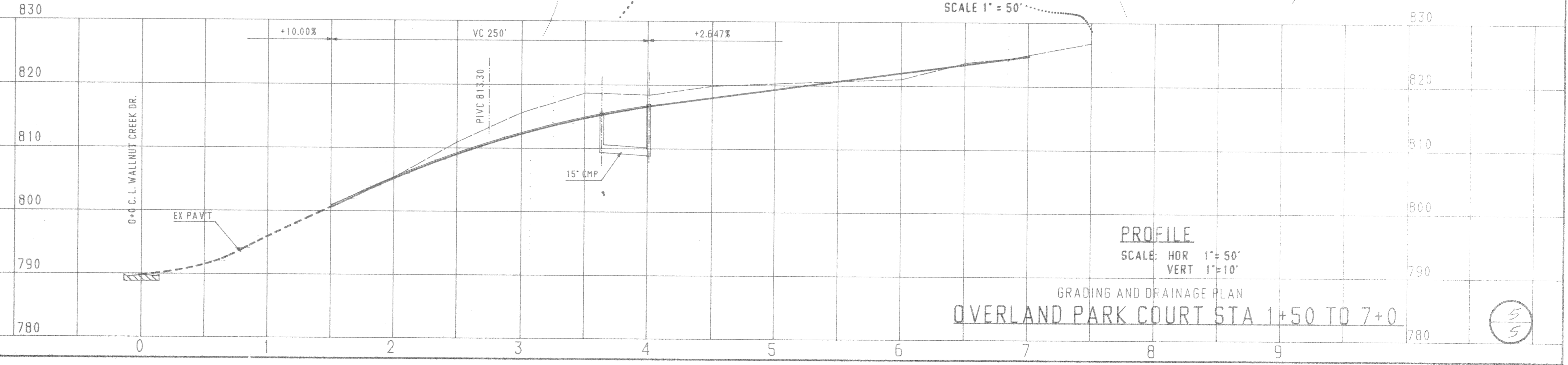
PROFILE SCALE: HOR 1" = 50' VERT 1" = 10'

OVERLAND PARK COURT STA 1+50 TO 7+0

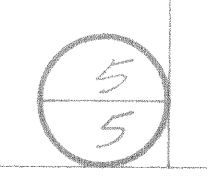


Station	Elevation
1+50	800.80
1+75	803.21
2+00	805.43
2+25	807.47
2+50	809.33
2+75	811.00
3+00	812.49
3+25	813.80
3+50	814.92
3+75	815.86
4+00	816.61
4+25	817.27
4+50	817.93
4+75	818.60
5+00	819.26
5+25	819.92
5+50	820.58
5+75	821.24
6+00	821.90
6+25	822.57
6+50	823.23
6+75	823.89
7+00	824.55

PLAN
SCALE 1" = 50'



GRADING AND DRAINAGE PLAN
OVERLAND PARK COURT STA 1+50 TO 7+0



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